



**REQUEST FOR PROPOSAL  
FOR THE PROVISION OF CONSULTANT SERVICES FOR**

**2022 DRAINAGE IMPROVEMENTS**

**PROPOSAL CALL: April 12, 2022**

**PROPOSALS DUE: Thursday, May 5, 2022, before 3:00:00PM LOCAL IQALUIT  
TIME**

**2022-RFP-029**

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## 1. PROJECT OVERVIEW

The City of Iqaluit (City) is seeking to retain a Consultant to provide design services for 2022 Drainage Improvements in Iqaluit. The Consultant's team will be retained to provide technical and professional services for design of drainage improvements in areas identified within Iqaluit, and to provide a holistic drainage study for the identified Lower Base area. The scope of work will include geotechnical investigations and topographical survey. The Consultant will be required to prepare tender ready documentation to allow Contractor procurement to commence in 2023.

Subject to future funding, the Consultant will also be retained for optional contract administration, site inspection and engineering support services during construction.

Specifically, this assignment is made up of the following scope:

Item No.	Description	2022 Services	Optional Services (2023)	Optional Services (2024)
3.17.2	<i>Palaugaa Drive (Between Apex Road &amp; QEW), including Nunastar Road Re-alignment section</i>	Detailed Design	Contract Administration and Site Inspection	--
3.17.3	<i>Lower Base Drainage Improvement Strategy</i>	STUDY	--	--
3.17.4	<i>Apex Road (Between Hospital &amp; Paunna Street)</i>	Detailed Design	Contract Administration and Site Inspection	
3.17.5	<i>Paunna Street (Between Apex Road &amp; QEW)</i>	Detailed Design	--	Contract Administration and Site Inspection
3.17.6	<i>Lower Iqaluit Check-Dam</i>	Detailed Design	--	Contract Administration and Site Inspection
3.17.7	<i>Road to Nowhere (RTN) Check-Dam</i>	Detailed Design	--	Contract Administration and Site Inspection
3.17.8	<i>Culvert Replacement - Phase 1 – QEW @ DJs, Nipisa Street, and Sinaa Street @Grind &amp; Brew</i>	Detailed Design	Contract Administration and Site Inspection	--

The City invites individual firms or consortiums of firms to submit Proposals for the above-referenced Project in accordance with the terms and conditions of this Request for Proposal document.

### 1.1 Background

#### 1.1.1 Location

Iqaluit is the capital of the Nunavut Territory and is located at the south end of Baffin Island near the end of Frobisher Bay (63°45'N latitude and 68°31'W longitude). Access to Iqaluit is provided by regular scheduled commercial aircraft year-round, snowmobile

trails from other Baffin Island communities in the winter, and sealift from the port of Montreal and Valleyfield in the summer.

#### 1.1.2 Geology and Terrain

Iqaluit's location is above the tree line and within the permafrost zone of Canada. The region generally consists of glacially scoured igneous/ metamorphic terrain. In some locations, a thin layer of organic material is found.

#### 1.1.3 Climate

Iqaluit has an Arctic climate with an average January temperature of -21.5°C and July average temperature of 8°C. The annual precipitation is made up of 19.2 cm of rainfall and 255.0 cm of snowfall. The prevailing winds are northwest at 16.7 km/hr.

#### 1.1.4 City Growth and Population

The City is the newest Capital City in Canada and as a result has experienced a period of rapid development and growth. Iqaluit is the seat of government for the Territory of Nunavut and is the home base of many federal and territorial government departments. The City is rapidly developing into a regional center for the territory with many northern businesses in Inuit organizations making it their base of operations. The current population of Iqaluit is estimated at about 7,000 people with an average annual growth rate between three and four percent.

#### 1.1.5 Land Ownership System

Iqaluit has a unique land ownership system. The major landowners in Iqaluit are the Commissioner of Nunavut, the City and the regional Inuit associations. These entities in turn lease land to individuals, corporations, and other government departments. The City land is administered by a land acquisition by-law and by a Territorial Statute. Generally speaking, there is no private ownership of land.

### 1.2 **Definitions**

The following terms and definitions listed shall apply within this RFP:

<i>City/ Client/ Owner</i>	means the Municipal Corporation of the City; means the entity as defined in the Supplementary Conditions, which may be the same entity as the City as defined herein.
<i>City Representative</i>	means the individual, assigned to the Project, who will be representing the City.
<i>City Website</i>	means <a href="http://www.iqaluit.ca">www.iqaluit.ca</a> .
<i>Class A Estimate</i>	means an estimate that is accurate to +/- 10% that is used to establish cost for the construction of the

	Project and is based on 99% complete design package which is ready for tender.
<i>Class B Estimate</i>	means an estimate that is accurate within +/- 15% and is based on a 66% design development.
<i>Class C Estimate</i>	means an estimate that is accurate within +/- 20% and is based on a 33% design development.
<i>Class D Estimate</i>	means an estimate that is accurate within +/- 30% and is based on conceptual design sketches.
<i>Closing Time</i>	means the time set out in paragraph 4.1.
<i>Contractor</i>	means the entity who will be providing construction services to perform the work.
<i>Construction Contract</i>	means the executed agreement between the City and the Contractor for the work.
<i>Evaluation Committee</i>	means a committee appointed by the City in order to evaluate all submitted proposals in order to determine a preferred proponent.
<i>Preferred Proponent</i>	means the company or firm that has been selected by the City's Evaluation Committee and who will initially discuss the contract arrangements based upon acceptance of the proponent's proposal.
<i>Consultant</i>	means the Consultant who will provide the technical and professional services defined in the Request for Proposal.
<i>Professional Services</i>	means the technical and professional services to be provided by the Consultant for this contract.
<i>Project</i>	means the 2022 Drainage Improvements.
<i>Project Manager</i>	means the Project Manager assigned by the City, who will be responsible for managing the execution of the Project.
<i>Project Team</i>	means the group of people which includes the City Representative, the Project Manager, the Discipline Design Leaders, and any other person invited from time to time by the City Representative of the Project Manager.

<i>Proponent</i>	means a company or firm intending to submit a Proposal and from whom a Proposal submission was received.
<i>Proposal</i>	means the document submitted in response to the Request for Proposal.
<i>Supplementary Conditions</i>	means the Supplementary Conditions forming APPENDIX B.
<i>This contract</i>	means the Consultant contract for which this Request for Proposal is issued.
<i>User group</i>	means the City or the users of the facility for which the City is responsible.

### 1.3 Project Objectives

The objectives of this Drainage Improvement project are to:

- Address priority areas of flooding concern, as identified in the City's Master Drainage Plan in the Lower Iqaluit, Happy Valley, and Road to Nowhere neighbourhoods.
- Implement drainage improvements along Palaugaa Drive (between Apex Road and QEW). This will include coordination with Nunastar Properties Incorporated's (Nunastar) development anticipated at the southern end of Palaugaa Drive.
- Improve drainage in identified areas of the City, including along Paunna Street between the Iqaluit Hospital and QEW; and along Apex Road between the Iqaluit Hospital and Paunna Street.
- Inspect and renew culverts located under QEW at DJ Specialty store, located under Nipisa Street near Nunavut Country Foods and located under Sinaa Street at Grind and Brew.
- Prepare a holistic drainage strategy for the Lower Base area.

## 2. INSTRUCTIONS TO PROPONENTS

### 2.1 Submission

Proponents must submit their proposals by electronic submission (PDF format), through MERX before the deadline listed in Section 2.8. MERX can be accessed via the following website link – <https://www.merx.com/>. Proponents must address proposals to:



REQUEST FOR PROPOSAL  
**2022 Drainage Improvements**  
2022-RFP-029



City of Iqaluit  
Alison Drummond  
Senior Director of Corporate Services  
901 Nunavut Drive, P.O. Box 460  
Iqaluit, Nunavut, X0A 0H0

Proponents will be required to submit a Technical and Financial Submission as part of their offer, in separate files. Files should be labeled as follows:

Technical Submission: *“TECHNICAL PROPOSAL – 2022 Drainage Improvements – Proponent Name”*

Financial Submission: *“FINANCIAL PROPOSAL – 2022 Drainage Improvements – Proponent Name”*

It is the Proponent’s responsibility to confirm successful submission of the proposal to MERX prior to the deadline.

The final decision on whether to accept late Proposals is at the City’s discretion.

## **2.2 Inquiries**

All inquiries concerning this RFP are to be directed by email only to:

Richard Sithole  
Senior Project Manager  
Colliers Project Leaders  
[Richard.Sithole@colliersprojectleaders.com](mailto:Richard.Sithole@colliersprojectleaders.com)

To ensure consistency and fairness to all Proponents, all firms who have received the RFP will receive information with respect to significant inquiries in the form of written addenda or clarifications. Verbal explanations or instructions will not be binding.

The deadline for submitting inquiries is defined in Section 2.8.

## **2.3 Addenda**

If it is determined that an amendment is required to this RFP, a written addendum will be posted via Merx and the City’s website. It is the Proponents responsibility to check Merx and the City’s website to confirm whether an addendum has been posted. The only way this RFP may be added to or amended in any way is by a formal written addendum. No other communication whether written or oral from any person will affect or modify the terms of this RFP or may be relied upon by any Proponent.

The City may amend, supplement, or otherwise modify this RFP at any time and from time to time prior to the Proposal submission date, only by written addenda.



## 2.4 Proponent Requirements

The successful Proponent must have a valid City of Iqaluit Business License prior to commencement of the Project. The Preferred Proponent shall apply for a license immediately upon notification of award, should they not hold a valid license.

## 2.5 Opening of the Proposals

There will be no public opening of the Proposals.

## 2.7 Validity of Offer

The proposals shall remain open for acceptance for a period of not less than sixty (60) calendar days from the closing date of this Request for Proposal.

## 2.8 Intended RFP Process Schedule

The City estimates the schedule for the Request for Proposal process milestones will be as follows:

*Table 1 – RFP Process Schedule*

Milestone	Date
Issue RFP	April 12, 2022
Last Day for Proponent Questions	April 27, 2022
Last Date for Issue of Addendum	April 29, 2022
RFP Closes – Submission Deadline	May 5, 2022
Contract Award	May 25, 2022
Project Kick-Off Meeting	June 2, 2022

## 3. PROPOSAL REQUIREMENTS

Proponent submissions should be prepared in sections, with the content of each section as specified below. Concise submissions which address the section requirements are encouraged. Where a maximum number of pages are specified, each page is based on a single side of an 8 ½ x 11 sheet, with text no smaller than size 11 Arial font. The technical submission will be limited to twenty (20) pages single-sided with three (3) additional 11" x 17" pages for schedule and level of effort table. There are no page limits or restrictions to the financial submission.

The technical submission must not have any financial details included. *If aspects of the financial offer are included in the technical submission, the City may choose to disqualify the Proponent.*

### **3.1 Technical Submission Requirements**

#### **3.1.1 Section A – Understanding of the Project (10 points)**

Provide a written statement demonstrating the Proponent's understanding of the overall Project, the goals and objectives of this assignment, and its relevance to the overall delivery of the Project. Identify any risks and challenges, based on the Proponents understanding of the Project, based on the information presented in this RFP, and provide mitigation measures which will ensure successful project delivery.

Provide a description of the Proponent's vision for the assignment by comparison and contrast to reference projects which are similar examples of the Proponent's work. The details of each project should be included at Section B. The Evaluation Committee is interested in understanding how these reference projects responded to the project requirements and how these relate to the Proponent's understanding of the requirements for this assignment.

Responses that incorporate blocks of text from the RFP, will not be regarded as demonstrating an understanding of the project.

#### **3.1.2 Section B – Reference Projects (15 points – 5 points per project)**

Provide information for Projects completed in the last 10 years that are relevant to this project. Provide a maximum of three (3) projects. The projects listed should illustrate experience in the following areas:

- .1 Drainage improvement projects involving drainage studies, site investigations (survey and / or geotechnical), hydraulic analysis and detailed design services.
- .2 Completed construction projects executed in the Far North or within an Arctic Climate.
- .3 Overseeing construction activities in the field as Contract Administrator and Site Inspector for similar infrastructure projects.

The Proponent should describe their roles and responsibilities on each of the projects, whether the projects were joint ventures along with the names of the other parties of the joint venture, a brief description of the project/ assignment, and how the reference project relates to the current assignment (as it pertains to scope). For each project, identify a client contact and provide contact information (email and phone number). The Evaluation Committee may consult with the persons indicated as references by the Proponents in order to obtain feedback on the Proponent's performance on previous Projects and to understand the relationship between the Client and the Proponent. The

technical ratings may be adjusted, based on the interviews and feedback from reference consultations. Proponents must ensure that phone numbers and e-mail addresses of references are accurate and still valid.

When identifying a reference project, the Proponent should consider how their project relates to the assignment described in this RFP, along with the goals and objectives of the overall Project. Photographs representing each reference project are encouraged.

#### 3.1.4 Section C – Work Plan (25 points)

Provide a work plan detailing the methodology and approach to be taken to deliver the assignment, reflecting the schedule outlined in this Request for Proposal. Identify the proposed schedule along with key milestones for meetings with the City group. Include in this section a schedule (Gantt chart) for the provision of services, identifying the time required for the Proponent's work and a breakdown of the time (number of hours) allocated for each task and Consultant (if applicable) during the work identified in the Request for Proposal. Include a description of major tasks, sub-tasks, methods/ systems, and personnel that the firm proposes to use for investigation, design, design management, project management, internal reviews, quality control, contract administration, inspection, reporting, stakeholder engagement, and preparation of tender ready documentation.

The work plan section should also describe the proponent's approach to meeting the design objectives, including site investigations (survey, geotechnical and visual inspection).

Tasks not identified in this RFP but considered essential to the project success **shall be included** in the proponent's Work Plan.

The Proponent shall describe what Inuit, local and Nunavut content, if any, shall be utilized.

#### 3.1.5 Section D – Corporate Qualifications and Experience (5 points)

Provide a statement of qualifications for the Proponent and other major consultant firms included in the Design Team (civil, structural, mechanical, electrical, and process control engineers) including:

- .1 Year founded as current corporate entity.
- .2 Permanent office address; and
- .3 List a maximum of five (5) reference Projects (do not provide Project details for projects listed in Section B.

#### 3.1.6 Section E – Qualifications and Experience (15 points)

Provide an organizational chart describing the Proponent's Project Team for the assignment, which includes lead positions such as the Project Manager, Project

Sponsor/ Principle, Project Engineer, Specialists, et. Proponent to include key Sub-Consultant's (if applicable) along with their position within the Project Team. Provide a summary of key Project Team personnel, and include the information below:

- .1 Name
- .2 Corporate affiliation
- .3 Role and title on the Project, including the period for which the individual is to be associated with the Project, and the extent of the individual's time that will be devoted to the Project during that period; and
- .4 List any reference Projects provided in Section B (do not provide Project details) and describe the individual's role on each of the Projects.

Include the individual's resume immediately after the individual's summary. It is the City's understanding that the Project Team proposed by the Proponent in this section will be committed to the full delivery of the assignment. Changes to the Proponent's Project Team must be approved by the City.

#### 3.1.7 Section F – List of Sub-consultants

Provide a list of all consultants the Consultant will be looking to engage as "Sub-Consultants" for the execution of the Project.

#### 3.1.8 Section G – Mandatory Submission Requirements (pass/fail)

Provide all mandatory requirements, as identified in Section 4.3. Proponents who fail to submit mandatory items will not proceed to the next phase of evaluation.

### 3.2 **Financial Submission Requirements**

#### 3.2.1 Consultant's Professional Fees (30 points)

Submit a completed and unqualified Cost Submission Form, included in Appendix A, along with a Consultant's corresponding level of effort fee table, complete with positions, hours, rates, and fee breakdown, based on the work being requested under this RFP for a Time & Materials with **Upset Limit Fee** contract. The level of effort table must be broken up based on major project tasks/ phases (i.e., project management, investigation, drainage study, detailed design phases, tender support, contract administrator/ site inspection, etc.).

The fee table must also include a breakdown on expenses/ disbursements, based on the requirements described in the Terms of Reference. The Proponent must use per diem rates established by the National Joint Council for the Territory of Nunavut. Accommodations will be provided by the City of Iqaluit at a City owned residence. The Proponent will be responsible for transportation requirements and must include this in their fee proposal for expenses/ disbursements. All expenses/ disbursements will be invoices at cost with no mark-up.

The completed Cost Submission Form and level of effort fee table shall form part of the contract document to be used between the City and the Preferred Proponent. The rates included in the fee table will be used in the event the scope of work is changed and provisions of the contract value to be changed during the project period.

The Financial Submission will not be opened until after the evaluation of the technical submission has been completed and satisfied per the required criteria.

## **4. EVALUATION**

### **4.1 Evaluation Committee**

The evaluation of Proposals will be undertaken by an Evaluation Committee appointed by the City. The Evaluation Committee may consult with technical, financial, and other advisors, as the Evaluation Committee, in its sole discretion, may decide. The Evaluation Committee will reach a consensus through discussions internal to the Committee.

### **4.2 Evaluation Stages**

Proposals will be evaluated in four stages:

#### **4.2.1 Evaluation of Mandatory Criteria**

Proposals that do not meet the mandatory criteria will be rejected (Refer to Section 4.3 below).

#### **4.2.2 Technical Evaluation – Total Value 70 Points**

Subject to the Evaluation Committee's right to reject an unacceptable Proposal under Section 4.4, the Evaluation Committee will evaluate and score the Proposal information provided using Table 2 in Section 4.5 as a guide to assign scores. For each criterion, each Proposal will be assessed, and points will be awarded based on the extent to which the requirements of the Request for Proposal documents are satisfied, and the comparative merit of the individual Proposal as compared to other Proposals.

Proposals will be ranked from highest to lowest in terms of meeting the City's requirements and containing technical merit. Proponents are required to achieve a minimum score of 70% (49/70 points) on the Technical Evaluation, to qualify for review of the Financial Submission.

#### **4.2.3 Financial Evaluation – Total Value 30 Points**

Financial evaluation of cost criteria will be conducted after evaluation of the technical criteria and reference checks.

A total of 30 points will be awarded based on the fixed fee Proposal, and the distribution of fees to each phase of the Project.

The points for price will be awarded as follows:

The score for the Financial Submission will be in accordance with the following formula:

$$\text{Proponent Score} = \frac{\text{Lowest Financial Offer}}{\text{Proponent Financial Offer}} \times 30 \text{ points}$$

#### 4.2.4 Selection

The Evaluation Committee will rank the Proponents, using the combined Technical and Financial score, from which it will select the Preferred Proponent. The Preferred Proponent's Proposal will be recommended to the City for the award of a contract for Consultant services based on the Proponents standing in the evaluation review process.

### 4.3 **Mandatory Requirements**

As indicated in Section 1 of this Request for Proposal, Proponents may be individual firms, or consortia of firms. In order for Proponent's Proposals to be considered for further evaluation they must demonstrate in their Proposals that the following mandatory requirements can be met.

Proponents must:

- .1 Provide evidence satisfactory to City from the Proponent's insurer that the Proponent is able to obtain the insurance coverage as specified in APPENDIX E City's Standard Service Agreement.
- .2 Include the submission of the Proponent's latest valid WSCC/ WSIB Certificate of Clearance.
- .3 Include a completed sign-off of Proposal submission, as per the requirements in APPENDIX F; and

### 4.4 **Rejection of Unacceptable Proposals**

The Evaluation Committee may at any time reject a Proposal without completing a full evaluation (including a Proposal from a Proponent that complies with the Mandatory Requirements), if in the judgment of the Evaluation Committee further consideration of the Proposal would not be acceptable as the basis for a contract considering the evaluation criteria indicated in Section 4.5 below.

The City reserves the right without liability, cost or penalty, in its sole discretion to disqualify any Proposal before its full evaluation, if the Proposal reveals a conflict of interest, incorrect information, or misrepresentation by the Proponent of any

information provided in its Proposal. The City further reserves the right without liability, cost or penalty, in its sole discretion to disqualify any Proposal where there is evidence that the Proponent, its employees, agents or representatives colluded with one or more other Proponents or any of their respective employees, agents or representatives in the preparation of the Proposal.

#### 4.5 Evaluation Criteria

The Evaluation Committee will evaluate eligible Proposals to determine the Proposal which best meets the needs of the City, using the weighting criteria indicated in Table 1 below as a guideline.

*Table 2 – RFP Evaluation Criteria*

EVALUATION CRITERIA	WEIGHTING
<b>Technical Submission</b>	
Section A – Understanding of the Project	10 points
Section B – Reference Projects	15 points
Section C – Work Plan	25 points
Section D – Corporate Qualifications and Experience	5 points
Section E – Qualifications and Experience	15 points
<b>Technical Score Sub-Total:</b>	<b>70 points</b>
<b>Financial Submission</b>	
Consultant Fees – Cost Submission Form	30 points
<b>Financial Score Sub-Total:</b>	<b>30 points</b>
<b>Total RFP Evaluation Score:</b>	<b>100 points</b>

### 5. TERMS AND GENERAL CONDITIONS

#### 5.1 Terms and Conditions

- 5.1.1 Submission of a Proposal constitutes acknowledgement that the Proponent has read and agrees to be bound by all the terms and conditions of this Request for Proposal.
- 5.1.2 The City will not make any payments for the preparation of a response to this Request for Proposal. All costs incurred by a Proponent will be borne by the Proponent.
- 5.1.3 This is not an offer. The City does not, by virtue of this Proposal call, commit to an award of this Proposal, nor does it limit itself to accepting the lowest price or any



Proposal submitted, but reserves the right to award this Proposal in any manner deemed to be in the City's best interest.

- 5.1.4 Proponents may not amend their proposal after the closing date and time but may withdraw their proposal at any time prior to acceptance by the City and issuing a Letter of Intent.
- 5.1.5 The City has the right to cancel this Request for Proposal at any time and to reissue it for any reason whatsoever, without incurring any liability and no Proponent will have any claim against the City as a result of the cancellation or reissuing of the Request for Proposal.
- 5.1.6 The City will not be responsible for any Proposal that does not indicate the Request for Proposal reference, and the Proponent's name.
- 5.1.7 The City will not be responsible for any Proposal that is delivered to any address or in any manner other than that provided in Section 2.1 of this Request for Proposal.
- 5.1.8 If a contract is to be awarded as a result of this Request for Proposal, it will be awarded to the Proponent whose Proposal for each service, in the City's opinion, provides the best potential value to the City and is capable in all respects to perform fully the contract requirements and has the integrity and reliability to assure performance of the contract obligations.
- 5.1.9 If the City decides to award a contract based on a submission received in response to this Request for Proposal, the Successful Proponent will be notified of the intent to award in writing, and the subsequent execution of a written agreement shall constitute the making of a Contract. Proponents will not acquire any legal or equitable rights or privileges whatsoever until a Contract is signed by both parties. In the event of any inconsistency between this Request for Proposal, and any ensuing contract, the contract shall govern.
- 5.1.10 The contract will be in the form of the City's standard "City of Iqaluit Services Agreement" and it will contain the relevant provisions of this Request for Proposal, the accepted Proposal as well as such other terms as may be mutually agreed upon, whether arising from the accepted Proposal or as a result of any negotiations prior or subsequent thereto. The City reserves the right to negotiate modifications with any Proponent who has submitted a Proposal.
- 5.1.11 A copy of the Services Agreement is included as APPENDIX E.
- 5.1.12 Any amendment made by the City to the Request for Proposal will be issued in writing and sent to all who have received the documents.
- 5.1.13 An Evaluation Committee will review each Proposal. The City reserves the exclusive right to determine the qualitative aspects of all Proposals relative to the evaluation criteria.



- 5.1.14 Proposals will be evaluated as soon as practicable after the closing time. No detail of any Proposal will be made public except the names of all parties submitting Proposals.
- 5.1.15 The proposal and accompanying documentation submitted by the proponents are the property of the City and will not be returned.
- 5.1.16 Proponents must acknowledge receipt of any addenda issued by the City in their Proposal.
- 5.1.17 Proponents shall disclose in its Proposal any actual or potential conflicts of interest and existing business relationships it may have with the City, its elected or appointed officials or employees. The City may rely on such disclosure.
- 5.1.18 Proponents and their agents will not contact any member of the City Council, City Staff or City Consultants with respect to this Request for Proposal, other than the City Representative named in section 2.2, at any time prior to the award of a contract or the cancellation of this Request for Proposal.

## **5.2 No Collusion**

By submitting a Proposal, the Proponent, and each firm, corporation or individual member associated with the Proponent's Proposal submission, represents, and confirms to the City, with the knowledge and intention that the City may rely on such representation and confirmation, that its Proposal has been prepared without collusion or fraud, and in fair competition with Proposals from other Proponents. Include confirmation of this under Item 3.1.8 of the Proposal submission.

## **5.3 Conflict of Interest**

Proponents shall disclose any potential conflicts of interest and existing business relationships they may have with Colliers Project Leaders, the City, its elected officials or employees, or any known participants in the Project. The City may rely on such disclosure.

Under Item 3.1.8 of the Proposal submission, include confirmation of the Proponent's agreement to conform to the conflict-of-interest requirements and disclosures as indicated in Supplementary Conditions SC2 – CONFLICT OF INTEREST.

## **5.4 Accuracy of Information**

While the City has used considerable efforts to ensure an accurate representation of information in the Request for Proposal, the information contained in this Request for Proposal is supplied solely as a guideline for Proponents. The City gives no representation whatsoever as to the accuracy or completeness of any of the information set out in this Request for Proposal, or any other background or reference information or documents prepared by third parties and made available to Proponents. Proponents will make an independent assessment of the accuracy and completeness

of such information and will have no claim whatsoever against the City or its representatives, agents, consultants, and advisors, with respect to such information.

## **5.5 Confidentiality**

Proponents shall treat all information received through this Request for Proposal process and subsequent contract award as confidential and will not disclose such information to any person except with the prior written consent of the City.

Under Item 3.1.8 of the Proposal submission, include confirmation of the Proponent's agreement to conform to the confidentiality requirements as indicated in Supplementary Conditions SC1 – CONFIDENTIALITY. The Consultant shall ensure that all drawings, specifications, and other documentation prepared for the Project and designated as confidential by the Owner, are prominently stamped on each page or sheet of each document with the word "CONFIDENTIAL" prior to release for construction bidding purposes or during the course of the Work.

## **5.6 Working Language**

All Proposals must be written in English.

## **5.7 Terms of Payment**

The Proponent shall be reimbursed monthly for works completed for each service provided. Invoices are to be submitted monthly, and shall include:

- .1 the project title.
- .2 the service contract number.
- .3 a description of the work completed.
- .4 billing summary, which includes the tasks as set forth in the costing submission, the proposed costs, cost to date, percentage invoiced to date, and the percentage of work completed to date for each task.
- .5 backup for all disbursements (time sheets may be requested).

The monthly invoice should be reviewed as a draft by the Consultant and the Project Manager to validate the fee and services being claimed. The Proponent is to update the invoice (as required), as per comments/ feedback received from the Project Manager. The Project Manager and Proponent are to determine at the Project Kick-Off meeting the date which draft monthly invoices are to be reviewed.

The final invoice is to be submitted to the Project Manager for processing with the City. Invoices that are issued directly to the City's Accounts Payable Department will not be processed. Invoices must be submitted for payment by the 15<sup>th</sup> of every month, for

previous months work (e.g., invoice must be submitted by February 15<sup>th</sup> for work completed up to January 31<sup>st</sup>).

No payment will be made for the cost of work incurred to remedy errors or omissions for which the contractor is responsible. No additional invoicing will be accepted above and beyond what the City has agreed to as per the contract. At no time shall the contract upset limit be exceeded without prior written authorization from the City.

## **5.8 Cash Flow Expenditure Forecast**

The Proponent is to submit a cash flow expenditure forecast identifying how the Proponent anticipates invoicing the City on a monthly process, based on the established schedule. An updated cash flow expenditure forecast is to be submitted with every monthly invoice.

## **5.9 WSIB/ WSCC Certificate**

Under Item 3.1.8 of the Proposal submission, include submission of the Proponent's latest WSIB or WSCC Certificate of Clearance (failure to submit a certificate or letter of exemption from coverage with the Proposal may result in disqualification of the Proposal). Proponents with no WSCC coverage must apply to the Government of Nunavut within 10 working days of starting operations.

## **5.10 Health and Safety**

The successful Proponent shall provide the City a copy of its Health and Safety plan within 5 calendar days of execution of the contract for design services. The successful Proponent shall always comply with the City's health and safety requirements while working in Iqaluit.

## **5.11 Project Reporting**

The Consultant will be required to provide monthly status reports, which must communicate the following: assignment status, work completed to date, work remaining, schedule progress (baseline and approved changes), and financial status (original contract value, current contract value, % complete vs. % spent). The report is to be submitted to the City's Project Manager.

# **6. CONSULTANT SCOPE OF WORK**

## **6.1 Phase Descriptions**

This project will be separated into five (5) distinct phases. These are described below.

### **Phase 1 – Lower Base Drainage Improvement Strategy Overview**

In 2019, the City commissioned the creation of a Master Drainage plan that identified at a high level the required improvements to facilitate proper drainage throughout the

City. Further to the completion of the Master Drainage plan, the City has identified a need to create a more specific drainage plan for the Lower Base area.

In Phase 1 of this assignment, the Consultant identified through this RFP will be required to complete a drainage plan for the Lower Base area. This holistic drainage strategy will define permanent drainage pathways for this area and consider contributing major and minor drainage paths.

Refer to Appendix G for sketch noting the indicative Lower Base area.

### **Phase 2 – Detailed Designs and Tender Ready Package Overview**

In the second concurrent phase of this assignment, the Consultant shall complete background document review, site investigations (including inspections, survey and where identified, geotechnical), and prepare engineering design documentation for drainage features identified in this RFP. The completion of this phase shall coincide with the submission of tender ready design documentation for the procurement of a Contractor. The Consultant is to assume that a single Contractor will be procured to complete the work over a two-year period due to anticipated funding constraints. Refer to Section 1 of this RFP for the expected construction execution plan.

Projects that make up Phase 2 are further broken down below.

### ***Road Drainage Improvement Projects***

The City has identified three (3) road sections that are to receive drainage improvement upgrades. These areas are listed below and are shown in the figures included in Appendix G:

- *Palaugaa Drive (between Apex Road & House 670)* – Prepare designs to improve road drainage. There are flat areas along Palaugaa Drive without defined drainage paths and where water accumulates. The design solution will likely involve building up the gravel road and defining drainage courses. Prepare separate design drawings and specifications for road section from Apex Road to House 670 (Phase 2 scope to be constructed by future City Contractor). Note that Phase 3 incorporates integrated design of road drainage improvements from House 670 to QEW (refer Phase 3 to be constructed by Nunastar's Contractor). Scope will include survey and geotechnical investigations.
- *Apex Road (between Hospital & Paunna Street)* – Prepare designs to improve road drainage and incorporate road improvements. Scope anticipated to include survey and geotechnical investigations.
- *Paunna Street (between Apex Road & QEW)* – Prepare designs to improve road drainage. Likely to include new drainage ditches along Paunna Street and will include survey investigation.

### ***Road Crossing Culvert Replacements***

The City has identified three (3) road crossings with multiple culverts to be replaced. The locations are listed below and are shown in the figures included in Appendix G:

- *Culverts under QEW (near DJs)* – Inspect and prepare designs to replace all aged culverts. Complete culvert hydraulic design and review options for low maintenance features suitable for Iqaluit conditions. Scope will include survey / geotechnical investigations.
- *Culverts under Nipisa Street (near Nunavut Country Foods)* – Inspect and prepare designs to replace all aged culverts. Complete culvert hydraulic design and review options for low maintenance drainage features suitable for Iqaluit conditions. Scope will include survey and geotechnical investigations.
- *Culverts under Sinaa Street (near Grind and Brew)* – Inspect and prepare designs to replace all aged culverts. Complete culvert hydraulic design and review options for low maintenance drainage features suitable for Iqaluit conditions. Scope will include survey and geotechnical investigations.

### ***Check Dam Installations***

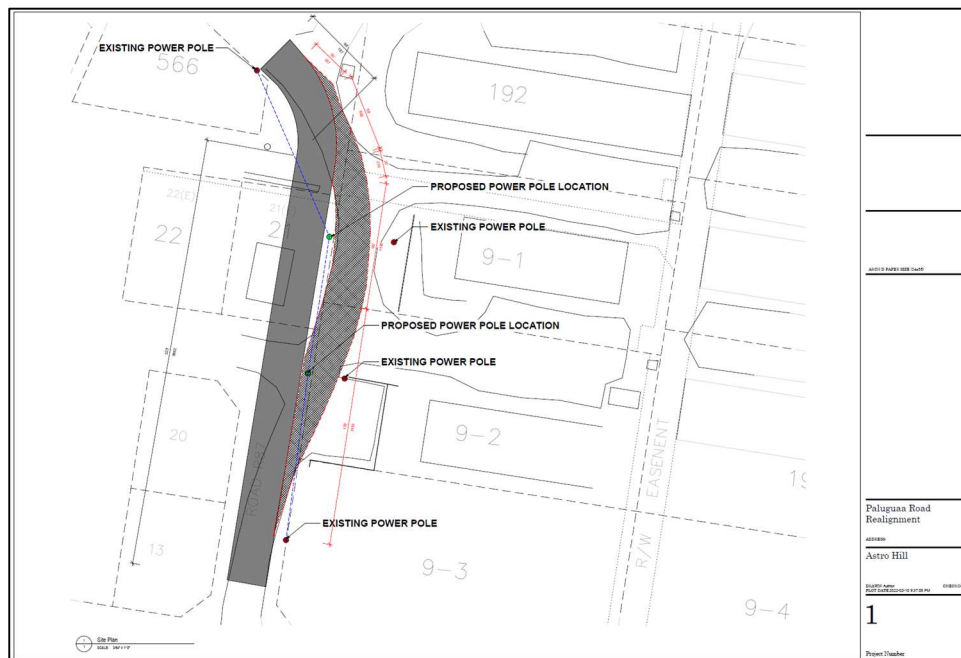
The City's Master Drainage Plan identified two (2) areas requiring check dams to help prevent downstream flooding. The locations are listed below and are shown in the figures included in Appendix G:

- *Lower Iqaluit Check Dam* – Prepare design to install check dams per Master Drainage Plan and following typical erosion and sediment control design practices to prevent downstream flooding. Scope will include survey.
- *Road to Nowhere Check Dam* – Prepare design to install check dams per Master Drainage Plan and following typical erosion and sediment control design practices to prevent downstream flooding. Scope will include survey.

### **Phase 3 – Detailed Designs (House 670 to QEW on Palaugaa Drive) Overview**

A portion of Palaugaa Drive (all to be designed by the Consultant identified through this RFP) will be constructed by Nunastar (southern end – refer Appendix G). The Consultant will be required to prepare separate (and integrated) design drawings and specifications meeting City requirements for this area. This will also include design for the abandonment of sewer and water services impacted by the re-alignment. The final submission of design deliverables for Phase 3 will be required by the end of **August 2022**. A map showing this reference area is shown below for information.

Refer to background document supplied by Nunastar. Scope will include survey to verify and augment the existing data provided.



Note that removal of building 171 required for the road re-alignment will be completed by Nunastar ahead of construction for the road re-alignment work.

#### Phase 4 – 2023 Construction Works Overview (Optional)

Subject to the City's sole discretion and available funding, the preferred Consultant shall be required to provide Tendering Assistance, Contract Administration, Inspection and Engineering Support services during construction for the Palaugaa Drive, Apex Road and Culvert Replacement sub-projects. Phase 4 construction works are anticipated to commence and be completed in 2023.

#### Phase 5 – 2024 Construction Works Overview (Optional)

Subject to the City's sole discretion and available funding, in the third phase of this assignment the preferred Consultant shall be required to provide Contract Administration, Inspection and Engineering Support services during construction for the Paunna Street, Lower Iqaluit Check Dams and RTN Check Dams. The completion of this phase of work shall coincide with overall project completion activities. Phase 5 construction works are anticipated to commence and be completed in 2024.

### 6.2 Phase 1 – Lower Base Drainage Improvement Strategy

Purpose: Complete a holistic drainage plan for the Lower Base area.

The Consultant shall:



1. Complete all required project set up, coordination and administration as required to complete the work. This will include attendance of the initial kick off meeting, subsequent bi-weekly meetings, and engagement of operational staff to understand existing issues, understand other interfacing project work etc. For efficiency purposes, all phases can be discussed at the same meetings.
2. Perform a desktop study to review and characterize drainage within the Lower Base area. The desktop review shall include City of Iqaluit design guidelines, related technical study carried out in the vicinity, City planning documents, as built records, and relevant information found, including review of available mapping information.
3. Perform a gap analysis describing information missing and list assumptions used to progress the assignment. Proponents are to understand that no additional charges for any equipment, material and/or labour will be entertained unless the additional charges have had prior written approval by an authorized City official.
4. The Consultant shall make allowance to visit City offices and field visit in the interest of reviewing existing issues, interviewing operational staff, and identifying preliminary options for further assessment.
5. The Consultant will be required to review the effectiveness of existing drainage infrastructure in the Lower Base area. This will include identification of existing drainage routes and capacity issues. This will also include assessment of the drainage system to reduce peak flows, flooding and overland erosion.
6. The Consultant will be required to identify new drainage measures and / or retrofit opportunities to improve drainage in the Lower Base area. These new features will need to align with the City's existing Master Drainage Plan and existing drainage features adjacent to the area under investigation. The Consultant must define maintenance requirements for these new features and aim to recommend low maintenance features, appropriate for Iqaluit's unique climate.
7. The Consultant will prepare an implementation plan detailing indicative capital cost and schedule estimate for all recommended new drainage features identified. This will include a Class D (order of magnitude) cost estimate.
8. The drainage review must also consider impacts of a changing climate.

A non-exhaustive list of required deliverables for this phase is provided below:

1. Project initiation documentation, including records of insurance, Works insurance, bi-weekly status reports etc.

2. Safety Plan/ Risk Assessments for any on site work (including any COVID-19 mitigation measures).
3. Provide meeting agendas and project meeting minutes for all meetings.
4. Baseline schedule for Consultant Work.
5. Anticipated progress billing milestone.
6. Draft invoices for City representative's review.
7. Stakeholder engagement plan.
8. Final and draft versions of the Lower Base Drainage Strategy identifying preferred drainage paths, contributing drainage flows, order of magnitude costs (Class D) to implement and schedule implications of the recommended option. Also provide high level risk register, logistical constraints, and overview schedule.

### **6.3 Phase 2 – Detailed Design & Tender Ready Documents – Drainage Improvements and Culvert Replacements**

**Purpose:** The Consultant will ultimately produce a complete set of tender ready documents, including front end solicitation documents, specifications, and drawings for Contractors to accurately bid and execute the drainage improvement and culvert replacement works. The Consultant shall also produce costs estimates, schedule estimates, a bill of quantities and regularly updated risk register.

The Consultant shall:

1. Complete all required project set up, coordination and administration as required to complete the work. This will include attendance of the initial kick off meeting, subsequent bi-weekly meetings, and engagement of operational staff to understand existing issues, understand other interfacing project work etc. For efficiency purposes, all phases can be discussed at the same meetings.
2. Complete a desktop study of all available City of Iqaluit design guidelines, City planning documents, as built records, and relevant information, including review of available mapping information. This will include a gap analysis review identifying any missing information required to complete the work. Proponents are to understand that no additional charges for any equipment, material and/or labour will be entertained unless the additional charges have had prior written approval by an authorized City official.



3. Complete a topographic survey and geotechnical investigation. Detailed scopes of work for these items are found in section 6.1 and 6.2 of this RFP.
4. Prepare a Technical Memorandum (20% review) to confirm the boundary limits of construction, design basis and criteria, risk register, logistical constraints, and overview schedule.
5. Chair and minute meetings with the Project Team for the duration of the detailed design phase. Allow for design review meetings including one (1) 20% design review meeting, one (1) 50% design review meeting, (1) 99% design review meeting and one (1) 100% design review meeting. Complete updates to design documentation following receipt of stakeholder comments.
6. Promptly advise as to the financial or schedule impact of any changes or additions requested by stakeholders to any previous set of design deliverables.
7. Prepare 50% design drawings and outline specifications, along with a Class C cost estimate, for review by the City. The design is to be progressed in communication with the Project Team and any other stakeholders to use as many locally and readily available materials as possible. Note that Phase 1c scope (Palaugaa Drive – House 670 to QEW) is addressed separately in Section 6.5.
8. Proceed with 99% design upon approval of the 50% design deliverables by the City. Prepare 99% design drawings and specifications for review and approval by the City. Produce a Class B cost estimate for review by the City. Prepare a detailed schedule estimate.
9. Proceed with final 100% tender ready documents upon approval of the 99% design deliverables by the City, that includes a Class A cost estimate.
10. Manage and coordinate the services of sub-consultants, as applicable.
11. A complete set of tender ready documents including detailed drawings and technical specifications will be prepared ready for tendering. This shall include front end solicitation documents to the City's latest templates. This will include quantity take-offs.
12. Continue to review applicable statutes, regulations, codes, and by-laws as the design of the project is developed.
13. Support the identified City / Colliers Project Manager, as required, in preparing any permit application documents.

14. Work with the City's Communications team to develop a Stakeholder Engagement Plan.

A non-exhaustive list of required deliverables for this phase is provided below:

1. Project initiation documentation, including records of insurance, Works insurance, bi-weekly status reports etc.
2. Safety Plan/ Risk Assessments for any on site work (including any COVID-19 mitigation measures).
3. Provide meeting agendas and project meeting minutes for all meetings.
4. Baseline schedule for Consultant Work.
5. Anticipated progress billing milestone.
6. Draft invoices for City representative's review.
7. Stakeholder engagement plan and related consultation materials.
8. Survey drawing deliverables.
9. Geotechnical investigation deliverables.
10. 20% Technical Memorandum identifying design criteria, boundary of construction, risk register, logistical constraints, and overview schedule.
11. 50% design drawings, outline specifications, and Class C cost estimate.
12. 99% design drawings, specifications, Class B cost estimate and schedule estimate.
13. 100% tender ready drawings and specifications, complete set of tender documents, and a Class A cost estimate.

#### **6.4 Phase 3 – Detailed Design – Palaugaa Drive (Nunastar Road Works)**

**Purpose:** The Consultant shall produce design documentation, including coordinated specifications, and drawings for Contractors to accurately bid and execute the drainage improvement works. This work will be delivered by Nunastar and their preferred Contractor. The Consultant shall also produce costs estimates, schedule estimates, a bill of quantities and regularly update the associated project risk register.

The Consultant shall:

1. Complete all required project set up, coordination and administration as required to complete the work. This will include attendance of the initial kick off meeting, subsequent bi-weekly meetings, and engagement of

operational staff to understand existing issues, understand other interfacing project work etc. For efficiency purposes, all phases can be discussed at the same meetings.

2. Complete a desktop study of all available City of Iqaluit design guidelines, City planning documents, as built records, and relevant information, including review of available mapping information. This will include a gap analysis review identifying any missing information required to complete the work. Proponents are to understand that no additional charges for any equipment, material and/or labour will be entertained unless the additional charges have had prior written approval by an authorized City official.
3. Complete a topographic survey and if required, geotechnical investigation. Detailed scope of work for this item is found in section 6.1 and 6.2 of this RFP.
4. Prepare a Technical Memorandum (30% review) to confirm the boundary limits of construction, design basis and criteria, risk register, logistical constraints, and overview schedule.
5. Chair and minute meetings with the Project Team for the duration of the detailed design phase. Allow for design review meetings including one (1) 30% design review meeting, (1) 90% design review meeting and one (1) 100% design review meeting. Complete updates to design documentation following receipt of stakeholder comments.
6. Promptly advise as to the financial or schedule impact of any changes or additions requested by stakeholders to any previous set of design deliverables.
7. Prepare 90% design drawings and outline specifications, along with a Class B cost estimate, for review by the City. The design is to be progressed in communication with the Project Team and any other stakeholders to use as many locally and readily available materials as possible.
8. Proceed with 100% design upon approval of the 90% design deliverables by the City. Prepare 100% design drawings and specifications for review and approval by the City. Produce a Class A cost estimate for review by the City. Prepare a detailed schedule estimate. This will include quantity take-offs.
9. Manage and coordinate the services of sub-consultants, as applicable.
10. Continue to review applicable statutes, regulations, codes, and by-laws as the design of the project is developed.

11. Support the identified City / Colliers Project Manager, as required, in preparing any permit application documents.
12. Work with the City's Communications team to develop a Stakeholder Engagement Plan.

A non-exhaustive list of required deliverables for this phase is provided below:

1. Project initiation documentation, including records of insurance, Works insurance, bi-weekly status reports etc.
2. Safety Plan/ Risk Assessments for any on site work (including any COVID-19 mitigation measures).
3. Provide meeting agendas and project meeting minutes for all meetings.
4. Baseline schedule for Consultant Work.
5. Anticipated progress billing milestone.
6. Draft invoices for City representative's review.
7. Stakeholder engagement plan and related consultation materials.
8. Survey drawing deliverables.
9. Geotechnical investigation deliverables (if required).
10. 30% Technical Memorandum identifying design criteria, boundary of construction, risk register, logistical constraints, and overview schedule.
11. 90% design drawings, specifications, Class B cost estimate and schedule estimate.
12. 100% drawings and specifications, and a Class A cost estimate.

#### **6.5 Phase 4 (Optional) – Tendering Assistance, Contract Administration, Site Inspection and Engineering Support Services (2023)**

Purpose: Provide tendering assistance and respond to tenderer queries (including consultation with City staff). Administer the construction contract, and complete **fulltime** (based on contractor's schedule, assume construction will begin in July/August 2023) inspection of the construction work to ensure compliance with the design documents. Please refer to cost submission for level of effort estimated to base the proposal on. Award of Phase 4 services are at the City's sole discretion subject to available funding for completion of construction services in 2023.

The Consultant shall:

1. Be a representative of the City.
2. Assist the City in responding to Construction proponents during the tender call period through addenda and complete checks on submitted tenders for any irregularities.
3. Review bid submissions and provide a recommendation of award.
4. Have the authority to act on the City's behalf to the extent provided in this RFP and the Contract Documents.
5. Always have access to the Work while in progress.
6. Forward all instructions from the City to the Contractor.
7. Complete reviews of the Contractor's management plans against specification requirements and regulatory requirement.
8. Carry out and coordinate as applicable Field Reviews / Site Inspections of the work.
9. Examine, evaluate, and report to the City upon representative samples of the work. Document progress of the work through site photographs. **The site condition must be documented through photographs and site diaries before onsite works commences.**
10. As a minimum, complete daily site reviews to determine general conformity of the works and provide weekly written updates on site progress and exception reports.
11. Participate in bi-weekly progress meetings (or more frequently, if required early in the project) with the Contractor, Project Manager and City.
12. Keep the City informed of the progress and quality of the work, and report to the City defects, deficiencies, or contravention of regulatory requirements in the work observed during site reviews.
13. In the first instance, interpret the requirements of the Contract Documents and make findings as to the performance thereunder by both the City and the Contractor.
14. Render interpretations in written and graphic form as may be required with reasonable promptness on the written request of either the City or the Contractor.
15. Render written findings within reasonable time, on all claims, disputes, and other matters in question between the City and the Contractor relating to the execution or performance of the work or the interpretation of the Contract Documents.

16. Render interpretations and findings consistent with the intent of and reasonably inferable from the Contract Documents; showing partiality to neither the City nor the Contractor.
17. Have the authority to reject work which does not conform to the Contract Documents, and whenever it is necessary or advisable for the implementation of the intent of the Contract Documents, have the authority to require special inspection or testing of work, whether or not such work has been fabricated, installed, or completed.
18. Review and take other appropriate action with reasonable promptness upon such Contractor's submittals as shop drawings, product data, and samples, for conformance with the general design concept of the Work as provided in the Contract Documents.
19. Maintain an electronic log to evidence the status and disposition of Shop Drawings and other required Contractor submittals. The log shall be provided and reviewed at every Project meeting.
20. Respond to Requests for Information (RFI) and maintain an electronic log to accurately document the status of all RFI's. The log shall be provided and reviewed at every Project meeting.
21. Prepare Contemplated Change Notices and Change Orders for the consideration of the Project Manager and for the City's approval and signature in accordance with the Contract Documents and maintain electronic logs to accurately document the status of all issued and contemplated CCN's and CO's. The logs shall be provided and reviewed at every Project meeting.
22. Have the authority to order minor adjustments in the Work which are consistent with the intent of the Contract Documents when these do not involve an adjustment in the contract price or an extension of the contract time.
23. Furnish supplemental instructions to the Contractor with reasonable promptness.
24. Receive from the Contractor and forward to the City for the City's review the written warranties and related documents.
25. Receive from the Contractor and review and approve the Contractor's as-built / as-fabricated drawings and provide to the City a complete set of electronic as-built drawings.
26. Review any defects or deficiencies which have been observed and reported during that period and notify the Contractor in writing of those items requiring attention by the Contractor to complete the Work in accordance with the Contract.

27. Determine the amounts owing to the Contractor under the Contract, based on the observations and evaluation of the Contractor's application(s) for payment. Verify that amounts owing are reasonable given the level of effort required in labour and materials to perform the work.
28. Issue certificates for payments in the value proportionate to the amount of the Contract and the Contractor's Schedule of Values, of work performed and products delivered to the place of the Work.
29. Determine the date of Substantial performance of the work. Issue the Substantial Performance certificate.
30. Verify the validity of the Contractor's application for final payment and issue a certificate of final payment.
31. Complete as built drawings using contractor's redline markup drawings. Coordinate review of contractor warranty, test, and material records.

A non-exhaustive list of required deliverables for this project is provided below:

1. Project initiation documentation, including records of insurance, Works insurance, bi-weekly status reports etc.
2. Safety Plan / Risk Assessments for any on site work (including any COVID-19 mitigation measures).
3. Provide meeting agendas, chair, and provide project meeting minutes for all meetings.
4. Prepare draft and final addenda during the tendering period.
5. Anticipated progress billing milestone.
6. Site visit / inspection reports.
7. Contract administration documents including CCN's, CO's, RFI's, SI's, payment recommendations, submittal records and completion records. This includes claim reviews and extension of time assessments.
8. Photographs (pre, during and post work completion).
9. Close out report for distribution to regulatory authorities as necessary.
10. Any exception reporting.
11. As built records.



## 6.6 Phase 5 (Optional) – Contract Administration, Site Inspection and Engineering Support Services (2024)

Purpose: Administer the construction contract, and complete **fulltime** (based on contractor's schedule, assume construction will begin in May/June 2024) inspection of the construction work to ensure compliance with the design documents. Please refer to cost submission for level of effort estimated to base the proposal on. Award of Phase 5 services are at the City's sole discretion subject to available funding for completion of construction services in 2024.

The Consultant shall:

1. Be a representative of the City.
2. Have the authority to act on the City's behalf to the extent provided in this RFP and the Contract Documents.
3. Always have access to the Work while in progress.
4. Forward all instructions from the City to the Contractor.
5. Complete reviews of the Contractor's management plans against specification requirements and regulatory requirement.
6. Carry out and coordinate as applicable Field Reviews / Site Inspections of the work.
7. Examine, evaluate, and report to the City upon representative samples of the work. Document progress of the work through site photographs. **The site condition must be documented through photographs and site diaries before onsite works commences.**
8. As a minimum, complete daily site reviews to determine general conformity of the works and provide weekly written updates on site progress and exception reports.
9. Participate in bi-weekly progress meetings (or more frequently, if required early in the project) with the Contractor, Project Manager and City.
10. Keep the City informed of the progress and quality of the work, and report to the City defects, deficiencies, or contravention of regulatory requirements in the work observed during site reviews.
11. In the first instance, interpret the requirements of the Contract Documents and make findings as to the performance thereunder by both the City and the Contractor.



12. Render interpretations in written and graphic form as may be required with reasonable promptness on the written request of either the City or the Contractor.
13. Render written findings within reasonable time, on all claims, disputes, and other matters in question between the City and the Contractor relating to the execution or performance of the work or the interpretation of the Contract Documents.
14. Render interpretations and findings consistent with the intent of and reasonably inferable from the Contract Documents; showing partiality to neither the City nor the Contractor.
15. Have the authority to reject work which does not conform to the Contract Documents, and whenever it is necessary or advisable for the implementation of the intent of the Contract Documents, have the authority to require special inspection or testing of work, whether or not such work has been fabricated, installed, or completed.
16. Review and take other appropriate action with reasonable promptness upon such Contractor's submittals as shop drawings, product data, and samples, for conformance with the general design concept of the Work as provided in the Contract Documents.
17. Maintain an electronic log to evidence the status and disposition of Shop Drawings and other required Contractor submittals. The log shall be provided and reviewed at every Project meeting.
18. Respond to Requests for Information (RFI) and maintain an electronic log to accurately document the status of all RFI's. The log shall be provided and reviewed at every Project meeting.
19. Prepare Contemplated Change Notices and Change Orders for the consideration of the Project Manager and for the City's approval and signature in accordance with the Contract Documents and maintain electronic logs to accurately document the status of all issued and contemplated CCN's and CO's. The logs shall be provided and reviewed at every Project meeting.
20. Have the authority to order minor adjustments in the Work which are consistent with the intent of the Contract Documents when these do not involve an adjustment in the contract price or an extension of the contract time.
21. Furnish supplemental instructions to the Contractor with reasonable promptness.
22. Receive from the Contractor and forward to the City for the City's review the written warranties and related documents.

23. Receive from the Contractor and review and approve the Contractor's as-built / as-fabricated drawings and provide to the City a complete set of electronic as-built drawings.
24. Review any defects or deficiencies which have been observed and reported during that period and notify the Contractor in writing of those items requiring attention by the Contractor to complete the Work in accordance with the Contract.
25. Determine the amounts owing to the Contractor under the Contract, based on the observations and evaluation of the Contractor's application(s) for payment. Verify that amounts owing are reasonable given the level of effort required in labour and materials to perform the work.
26. Issue certificates for payments in the value proportionate to the amount of the Contract and the Contractor's Schedule of Values, of work performed and products delivered to the place of the Work.
27. Determine the date of Substantial performance of the work. Issue the Substantial Performance certificate.
28. Verify the validity of the Contractor's application for final payment and issue a certificate of final payment.
29. Complete as built drawings using contractor's redline markup drawings. Coordinate review of contractor warranty, test, and material records.

A non-exhaustive list of required deliverables for this project is provided below:

1. Project initiation documentation, including records of insurance, Works insurance, bi-weekly status reports etc.
2. Safety Plan / Risk Assessments for any on site work (including any COVID-19 mitigation measures).
3. Provide meeting agendas, chair, and provide project meeting minutes for all meetings.
4. Prepare draft and final addenda during the tendering period.
5. Anticipated progress billing milestone.
6. Site visit / inspection reports.
7. Contract administration documents including CCN's, CO's, RFI's, SI's, payment recommendations, submittal records and completion records. This includes claim reviews and extension of time assessments.
8. Photographs (pre, during and post work completion).

9. Close out report for distribution to regulatory authorities as necessary.
10. Any exception reporting.
11. As built records.

## **6.7 Geotechnical Scope of Work**

The Consultant will be required to coordinate with all utilities and with the City to allow for execution of the work. The successful Bidder shall provide the results of all investigations and coordinate its work with the City for incorporation into the final design.

### **FIELD COMPONENT**

- Coordinate with the City for access to the Site.
- Prepare a traffic control plan for any work affecting the roadway in accordance with section 6.11 of this RFP.
- The suggested total number of boreholes required to complete the assessment is shown below:
  - PALAUGAA DRIVE: three (3)
  - APEX ROAD: two (2)
  - CULVERT REPLACEMENTS: three (3)
- Assume average refusal depth of 1.5-2 m. Borehole locations to be determined from a review of background information, a site visit and/or consultation with the Project Manager/City staff, to determine the probable location of future infrastructure and areas of potential environmental or underground utility concern. Relocate to avoid obstructions as necessary, recording actual location on plan.
- Ensure that all underground services are located before excavation and provide all required locates prior to excavating. Provide the City and Project Manager with a copy of locates performed ahead of the work.
- Record geodetic elevation of ground surface at borehole locations and relate to a known benchmark.
- Report/notify before equipment is removed from the Site, the following:
  - Extremely poor or unexpected soil conditions are encountered.
- Obtain samples of each soil type encountered, the first sample being at a depth not greater than 750 mm and succeeding samples at not more than 1500 mm increments of depth. Record whether samples are dry, moist, or wet.
- Restore Site to its original state upon completion of on-Site work.
- The geotechnical program included as part of this RFP is for pricing purposes. If, in the Proponent's professional experience and discussions with the City, it is

determined that some or all geotechnical work may not be required, then the scope of work can be adjusted accordingly through the contract change order process. For the purposes of this RFP, pricing for the requested geotechnical program as outlined in the RFP shall be supplied.

## REPORTING

- The Geotechnical Report shall take into consideration the following factors: projected temperature increase, precipitation, extreme weather events and the rise of sea level.
- Submit a soil investigation report, complete with a Site Plans identifying the borehole locations and the proposed road footprint.
- Include (but not be limited to) in the report the following:
  - A detailed description of the soil investigation, including details of the method of soil boring used, a description of the general geology of the area and a drawing showing the actual location and elevation of the boreholes.
  - A description of the physical properties, cohesion and friction angles, soil constraints for at rest, active and passive conditions, unit weights for the various soil strata, found in each borehole and the elevation of the stabilized water table.
  - Summarize the results of all relevant boreholes, in a coordinated series of logs.
  - Any special conditions or irregularities.
  - Water conditions and flow rates for drainage, including effect of weather.
  - Recommended pavement structure, inclusive of subgrade preparation and drainage requirements.
  - Advice on any special construction difficulties that may be encountered.
  - Any additional information of interest or significance.
- All reports should be supported with photographs whenever possible and submitted in PDF format.

### 6.8 Survey Scope of Work

The Consultant will be required to complete topographical surveying as specified within this RFP. The Consultant shall provide results of all investigations and coordinate its work with the City for incorporation into the final design. Although the Consultant shall ultimately determine the scope and level of survey required for this assignment, the following minimum requirements are anticipated:

The Consultant will:

- Carry out on-site reviews and field work required for, and to complete, the design of this project including survey work required to locate / identify existing features, utilities, obstructions, etc. and as required to provide measurement for tender quantities.
- The Consultant will carry out total station survey as necessary to define the work.
- Verify the accuracy and correctness of any digital mapping and control points provided by the City or publicly available.
- Verify elevation and position data to confirm all critical existing pipe inverts, outlet invert elevations, potential conflicts and surface features potentially affecting the proposed works.
- Identify all existing vegetation and natural features, including watercourses, which may affect the work.
- Perform detailed inventory of existing facilities and features to ensure that construction reinstatement will closely match existing conditions.

## 6.9 Special Invoicing Instructions

The City has budgeted for this project as seven (7) individual projects, each with their own dedicated accounting codes. They are as follows:

<i>Item No.</i>	<i>Description</i>
3.17.2	<i>Palaugaa Drive (Between Apex Road &amp; QEW), including Nunastar Road Re-alignment section</i>
3.17.3	<i>Lower Base Drainage Improvement Strategy</i>
3.17.4	<i>Apex Road (Between Hospital &amp; Paunna Street)</i>
3.17.5	<i>Paunna Street (Between Apex Road &amp; QEW)</i>
3.17.6	<i>Lower Iqaluit Check-Dam</i>
3.17.7	<i>RTN Check-Dam</i>
3.17.8	<i>Culvert Replacement - Phase 1 - DJs &amp; Grind &amp; Brew and Astro</i>

As a result, for proper tracking of budgets and invoices, the City will require that each project receive its own service contract and subsequently, be invoiced separately. For efficiencies in the delivery of these projects, they have been combined as a group of projects. Please account for this additional administration level of effort when submitting the proposal.

For disbursements, please distribute the costs across all applicable tasks. Please assume that all tasks planned for 2022 will be awarded.

#### **6.10 Traffic Control (During Consultant Geotechnical Investigation)**

1. The Consultant shall develop a site-specific Traffic Control Plan (TCP) as per the site condition and submit to the City Representative for review and approval. TCP must be submitted 7 business days prior to start of construction work.
2. Consultant shall follow all standards traffic control procedures in accordance with the requirements of the Safety Act and Occupational Health and Safety Regulations.
3. Comply with requirements relevant City of Iqaluit By-Laws with respect to road obstructions and occupancy.
4. When working on travelled ways:
  - .1 Place equipment in position which presents minimum interference and hazard to travelling public.
  - .2 Keep equipment units as close together as working conditions permit and preferably on same side of travelled way.
  - .3 Do not leave equipment on travelled way overnight.
5. Do not close any lanes or roads without approval of City Representative via a Road Closure permit. Before re-routing traffic, erect suitable signs and devices approved by City Representative.
6. Keep travelled ways graded, free of potholes and of sufficient width for required number of lanes of traffic.
7. Keep travelled ways free of snow:
  - .1 Pile snow in designated location(s).
  - .2 Do not pile snow on construction site or on adjacent property.
8. As indicated, provide graveled detours or temporary roads to facilitate passage of traffic around restricted construction area:
  - .1 Do grading for detour in accordance with City Representative's written approval.
9. Provide and maintain road access and egress to property fronting along Work under Contract and in other areas as indicated, unless other means of road access exist that meet approval of City Representative.

10. Provide and maintain signs, flashing warning lights and other devices required to indicate construction activities or other temporary and unusual conditions resulting from Project Work which requires road user response.
11. Supply and erect signs, delineators, barricades (concrete jersey barriers) and miscellaneous warning devices as required by the City of Iqaluit.
12. Place signs and other devices in locations approved by City Representative.
13. Meet with City Representative prior to commencement of Work to prepare list of signs and other devices required for project. If situation on site changes, revise list to approval of City Representative.
14. Continually maintain traffic control devices in use by:
  - .1 Checking signs daily for legibility, damage, suitability, and location. Clean, repair or replace to ensure clarity and reflectance.
  - .2 Removing or covering signs which do not apply to conditions existing from day to day.
15. Provide competent flag persons and properly equipped as Directed by City Representative.
  - .1 When public traffic is required to pass working vehicles or equipment that block all or part of travelled roadway.
  - .2 When it is necessary to institute one-way traffic system through construction area or other blockage where traffic volumes are heavy, and traffic signal system is not in use.
  - .3 When workmen or equipment are employed on travelled way over brow of hills, high snowbanks, around sharp curves or at other locations where oncoming traffic would not otherwise have adequate warning.
  - .4 Where temporary protection is required while other traffic control devices are being erected or taken down.
  - .5 For emergency protection when other traffic control devices are not readily available.
  - .6 In situations where complete protection for workers, working equipment and public traffic is not provided by other traffic control devices.
  - .7 At each end of restricted sections as directed by City Representative.

- .8 Delays to public traffic due to contractor's operators: maximum 15 minutes.
- 16. Where roadway, carrying two-way traffic, is restricted to one lane, for 24 hours each day, provide portable traffic signal system. Adjust, as necessary, and regularly maintain system during period of restriction. Signal system to meet requirements of Part IV of Manual of Uniform Traffic Control Devices for Streets and Highways.
- 17. Maintain existing conditions for traffic throughout period of contract except that, when required for construction under contract and when measures have been taken as specified and approved by City Representative to protect and control public traffic.
- 18. Maintain existing conditions for traffic crossing right-of-way.
- .1 Maintain existing conditions for traffic crossing right-of-way except when required for construction.
- .2 Delays to public traffic: maximum 15 minutes.

## 7. SCHEDULE

### 7.1 Timelines

The Proponent must satisfy the general timelines identified below for the work.

**Table 3 – Project Schedule**

Milestone	Date
Project Kick-Off Meeting	June 2, 2022
Phase 1 – Lower Base Drainage Study	
Draft Lower Base Drainage Study Report	August 16, 2022
Final Lower Base Drainage Study Report	October 11, 2022
Phase 2 – Drainage Improvements Detail Design	
20% Design Submission	June 23, 2022
50% Design Submission	August 16, 2022
99% Design Submission	October 5, 2022
100% Design Submission	November 10, 2022



Phase 3 – Palaugaa Drive (Nunastar Road Works)	
30% Design Submission	June 23, 2022
90% Design Submission	August 16, 2022
100% Design Submission	August 31, 2022
Project Completion of Design Phases / Closeout	December 31, 2022

## 7.2 Submission Requirements

Proponent to prepare project schedule in the form of a Gantt chart. The schedule is to include dates for the commencement and completion of each major element of the work, as per the requirements of Table 3. The key elements of the schedule will detail the various assignment milestones. The schedule will form the baseline for assignment.

The schedule will form part of the contract documents. Changes to the project schedule must be approved by the Project Manager by means of a change order. A revised schedule must be submitted describing the approved changes.

## APPENDIX A – COST SUBMISSION FORM

Proponent's Name: \_\_\_\_\_

Proponent's Address: \_\_\_\_\_

Proponent Email/ Telephone: \_\_\_\_\_

Provide the following cost breakdown for the services detailed herein that the Proponent is proposing to offer the City of Iqaluit.

Table A1 Fee Table

Item	Description	Qty	Unit	Total
<b>Phase 1 – Lower Base Drainage Improvement Strategy</b>				
1.	Project Management	1	LS	\$
2.	Review of background information, gap analysis, literature review and refine methodology through technical memorandum	1	LS	\$
3.	Drainage Improvement Strategy Draft Report	1	LS	\$
4.	Drainage Improvement Strategy Final Report	1	LS	\$
5.	Disbursements (including any required travel and accommodation)	1	LS	\$
6.	Other Specified Requirements	1	LS	\$
<b>Phase 1 - Lower Base Drainage Improvement Strategy Subtotal</b>				<b>\$</b>
<b>Phase 2 – Detailed Design &amp; Tender Ready Documents – Drainage Improvements</b>				
<b>Palaugaa Drive (Apex Road to Building 670)</b>				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$

2.	20% Technical Memorandum	1	LS	\$
3.	50% Design Deliverables	1	LS	\$
4.	99% Design Deliverables	1	LS	\$
5.	100% Design Deliverables	1	LS	\$
6.	Other Disbursements	1	LS	\$
7.	Topographic Survey	1	LS	\$
8.	Geotechnical Investigation	1	LS	\$
<i>Palauga Drive (Apex Road to Building 670) Subtotal</i>				\$
<b>Apex Road (Hospital to Paunna Street)</b>				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$
2.	20% Technical Memorandum	1	LS	\$
3.	50% Design Deliverables	1	LS	\$
4.	99% Design Deliverables	1	LS	\$
5.	100% Design Deliverables	1	LS	\$
6.	Other Disbursements	1	LS	\$
7.	Topographic Survey	1	LS	\$
8.	Geotechnical Investigation	1	LS	\$
<i>Apex Road (Hospital to Paunna Street) Subtotal</i>				\$

Paunna Street (Apex Road to QEW)				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$
2.	20% Technical Memorandum	1	LS	\$
3.	50% Design Deliverables	1	LS	\$
4.	99% Design Deliverables	1	LS	\$
5.	100% Design Deliverables	1	LS	\$
6.	Other Disbursements	1	LS	\$
7.	Topographic Survey	1	LS	\$
<i>Paunna Street (Apex Road to QEW) Subtotal</i>				\$
Lower Iqaluit Check Dams				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$
2.	20% Technical Memorandum	1	LS	\$
3.	50% Design Deliverables	1	LS	\$
4.	99% Design Deliverables	1	LS	\$
5.	100% Design Deliverables	1	LS	\$
6.	Other Disbursements	1	LS	\$
7.	Topographic Survey	1	LS	\$
<i>Lower Iqaluit Check Dams Subtotal</i>				\$

Road to Nowhere Check Dams				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$
2.	20% Technical Memorandum	1	LS	\$
3.	50% Design Deliverables	1	LS	\$
4.	99% Design Deliverables	1	LS	\$
5.	100% Design Deliverables	1	LS	\$
6.	Other Disbursements	1	LS	\$
7.	Topographic Survey	1	LS	\$
<i>Road to Nowhere Check Dams Subtotal</i>				\$
Road Crossing Culvert Replacements				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$
2.	20% Technical Memorandum	1	LS	\$
3.	50% Design Deliverables	1	LS	\$
4.	99% Design Deliverables	1	LS	\$
5.	100% Design Deliverables	1	LS	\$
6.	Other Disbursements	1	LS	\$
7.	Topographic Survey	1	LS	\$
8.	Geotechnical Investigation	1	LS	\$
<i>Culvert Replacements Subtotal</i>				\$
<b><i>Phase 2 – Detailed Design &amp; Tender Ready Documents – Drainage Improvements Subtotal</i></b>				<b>\$</b>

<b>Phase 3 – Detailed Design Documents – Palaugaa Drive (Building 670 to QEW)</b>				
1.	Project Management and Coordination (incl. initiation, HSE documentation, background document review, and meeting attendance)	1	LS	\$
2.	30% Technical Memorandum	1	LS	\$
3.	90% Design Deliverables	1	LS	\$
4.	100% Design Deliverables	1	LS	\$
5.	Other Disbursements	1	LS	\$
6.	Topographic Survey	1	LS	\$
7.	Geotechnical Investigation (if required)	1	LS	\$
<b>Phase 3 – Detailed Design Documents – Palaugaa Drive (Building 670 to QEW) Subtotal</b>				<b>\$</b>
<b>Phase 4 (Optional) – Tendering Assistance, Contract Administration, Site Inspection and Engineering Support Services – 2023 Construction Activities</b>				
1.	Project Management, Coordination and Administration	1	LS	\$
2.	Tendering Assistance	1	LS	\$
3.	Contract Administration. As a minimum, CA/Inspection hours shall include allowance for the following hours: <ul style="list-style-type: none"> <li>Contractor Administrator Hours – 80 hours</li> <li>Inspector Hours – 400 hours</li> <li>Engineering Support Hours – 60 hours</li> <li>As built records Hours – To be determined by Consultant</li> <li>Other hours for key resources required to fulfill requirements</li> </ul>	1	LS	\$
4.	11-month Warranty Site Inspection (Site Visit Required ahead of 1-year warranty expiry)	1	LS	\$
5.	Other Disbursements	1	LS	\$
<b>Phase 4 (Optional) – Tendering Assistance, Contract Administration, Site Inspection and Engineering Support Services – 2023 Construction Activities Subtotal</b>				<b>\$</b>

<b>Phase 5 (Optional) – Tendering Assistance, Contract Administration, Site Inspection and Engineering Support Services – 2024 Construction Activities</b>				
1.	Project Management, Coordination and Administration	1	LS	\$
2.	Contract Administration. As a minimum, CA/Inspection hours shall include allowance for the following hours: <ul style="list-style-type: none"> <li>Contractor Administrator Hours – 50 hours</li> <li>Inspector Hours – 350 hours</li> <li>Engineering Support Hours – 30 hours</li> <li>As built records – To be determined by Consultant</li> <li>Other hours for key resources required to fulfill requirements</li> </ul>	1	LS	\$
3.	11-month Warranty Site Inspection (Site Visit Required ahead of 1-year warranty expiry)	1	LS	\$
4.	Other Disbursements	1	LS	\$
<b>Phase 5 (Optional) – Contract Administration, Site Inspection and Engineering Support Services – 2024 Construction Activities Subtotal</b>				\$
<b>SUMMARY</b>				
<b>Phase 1 – Lower Base Drainage Improvement Strategy</b>				\$
<b>Phase 2 – Detailed Designs and Tender Package</b>				\$
<b>Phase 3 – Detailed Designs (Palaugaa Drive (Building 670 to QEW))</b>				\$
<b>Phase 2 (Optional) – 2023 Construction Activities</b>				\$
<b>Phase 3 (Optional) – 2024 Construction Activities</b>				\$
<b>Overall SUBTOTAL</b>				\$
<b>Applicable Taxes (GST):</b>				\$
<b>TOTAL (Including GST)</b>				\$

Fees for changes to the work shall be as agreed upon prior to the commencement of services for the change as set out under the contract. For additional work, the proponent shall use the rates detailed below.



### 2022 Rates

POSITION	TEAM MEMBER	Hourly Rates (\$/hr.)
Principal / Project Sponsor		
Project Manager		
Project Engineer		
Administration		
Insert Position (s)		
Insert Position (s)		

### 2023 Rates

POSITION	TEAM MEMBER	Hourly Rates (\$/hr.)
Principal / Project Sponsor		
Project Manager		
Project Engineer		
Administration		
Contract Administrator		
Site Inspector		

### 2024 Rates

POSITION	TEAM MEMBER	Hourly Rates (\$/hr.)
Principal / Project Sponsor		
Project Manager		
Project Engineer		
Administration		
Contract Administrator		
Site Inspector		

Consultant to add positions as necessary. Each discipline shall provide names for each position as necessary.

**END OF APPENDIX A**

## APPENDIX B – SUPPLEMENTARY CONDITIONS

Amend the General Conditions as follows:

### Add SC1 Confidentiality

#### SC 1 Confidentiality

- .1 The Consultant and the Consultant's employees and sub-Consultants shall not use, copy, disclose or otherwise communicate and information not available to the public that was gained by them in the course of their duties related to this Contract, except as is necessary in the proper discharge of those duties. This obligation survives the Contract.
- .2 All information provided by the Consultant is subject to the disclosure and protection provisions of applicable freedom of information and privacy legislation. Such Act allows any person a right of access to records in the Client's custody or control, subject to limited and specific exceptions.

### Add SC2 Conflicts of Interest

#### SC 2 Conflicts of Interest

The Consultant and the Consultant's employees:

- .1 shall conduct their duties related to this Contract with impartiality and shall, if they exercise inspection or other discretionary authority over others in the course of those duties, disqualify themselves from dealing with anyone with whom a relationship between them could bring their impartiality into question.
- .2 shall not influence, seek to influence, or otherwise take part in a decision of the Client, knowing that the decision might further their private interests. Any communication with the City's elected officials before contract award shall result in disqualification of the Proponent.
- .3 shall not accept any commission, discount, allowance, payment, gift, or other benefit that is connected, directly, or indirectly with the performance of their duties relating to this Contract, that causes, or would appear to cause, a conflict of interest, and
- .4 shall have no financial interest in the business of a third party that causes, or would appear to cause, a conflict of interest in connection with the performance of their duties related to this Contract, and if such financial interest is acquired during the term of this Contract, the Consultant shall promptly declare it to the Client.

Add SC3 Project History File

SC 3 Project History File

- .1 All project documentation shall be considered deliverables and shall form the core of the Project History File. A project history file is to be submitted to the Client prior to project closeout. It is the Consultants responsibility to ensure that the requirements for all deliverables be applied to all sub-consultants and vendors.
- .2 All supporting and originating data (calculations, graphs, data, pictures, drawings checks, tables, CAD files etc.) that are developed and incorporated into the deliverable documentation shall be included in Project history file.
- .3 All data collected as part of the Project and relating to the deliverables that have been organized into database tables and spreadsheets shall be included electronically as supporting data for the deliverable. This information will be incorporated into the project history file
- .4 The project history file will be submitted electronically in a logical file folder structure.

**END OF APPENDIX B**

## APPENDIX C – SUB-CONSULTANT LIST

The Proponent will engage and fully coordinate the work of the following sub-consultants listed to deliver the work:

**Table C1** List of subconsultants

Consultant Name	Project Office Address	Discipline

**END OF APPENDIX C**

## **APPENDIX D – INFORMATION PROVIDED BY THE CITY**

This schedule forms part of the contract for consulting services for the 2022 Drainage Improvement. The City will provide the following information to the Consultant:

- .1 Municipal Design Guidelines, City of Iqaluit – 2015
- .2 Good Building Practices Guideline, Government of Nunavut – 2020
- .3 2019 Master Drainage Plan
- .4 General Plan By-Law No. 703, City of Iqaluit – 2010
- .5 Desktop Geotechnical Assessment – Astro Hill Gate – Building 351, Lot 9-4, Plan 617, 56322 CLSR, Iqaluit, Nunavut
- .6 Desktop Geotechnical Assessment – Creekside Village 900 Block – Iqaluit, Nunavut
- .7 Astro Hill Nunastar Properties – General Site Elevations (features and road locations)
- .8 Hydrology and Hydraulics Design Report – Astro Bridge, March 2022
- .9 Hydrology and Hydraulics Design Report – Road to Nowhere Bridge, March 2022
- .10 Hydrology and Hydraulics Design Report – Apex Bridge, March 2022
- .11 Map showing mark-up (and notes) for 2022 Drainage Improvements

**END OF APPENDIX D**

## APPENDIX E – CITY OF IQALUIT SERVICES AGREEMENT

BETWEEN: THE MUNICIPAL CORPORATION OF THE CITY OF IQALUIT  
(hereinafter referred to as the "CITY OF IQALUIT")  
OF THE FIRST PART

AND: <INSERT CONSULTANT NAME>  
(hereinafter referred to as the "Consultant")  
OF THE SECOND PART

WHEREAS the CITY OF IQALUIT has requested the Consultant to provide engineering services for the  
<insert project name/ contract title>;

AND WHEREAS the Consultant has agreed to provide such services to the CITY OF IQALUIT in its proposal  
dated <insert proposal date>;

AND WHEREAS the CITY OF IQALUIT and the Consultant wish to set out the terms and conditions relating  
to the provision of such services;

THEREFORE the CITY OF IQALUIT and the Consultant agree as follows:

### 1. SERVICES AND PAYMENT

- 1.1 The Consultant agrees to provide to the CITY OF IQALUIT those services set out in the job description and scope of work provided on <insert proposal date>. A copy of the proposal is attached as Appendix "A".
- 1.2 The CITY OF IQALUIT agrees to pay for the services described above, a total amount not greater than <insert proposal amount>, for the provision of professional services based on the Proposal dated <insert proposal date>.

### 2. TERM

- 2.1. This Contract shall commence on the <insert contract start date> and terminates on the <insert contract termination date> unless otherwise terminated in accordance with the provisions of this Contract.

### 3. NOTICE AND ADDRESS

- 3.1 Any notice required to be given herein or any other communication required by this contract shall be in writing and shall be personally delivered, sent by facsimile, or posted by prepaid registered mail and shall be addressed as follows:



REQUEST FOR PROPOSAL  
**2022 Drainage Improvements**  
2022-RFP-029



i) If, to the CITY OF IQALUIT:

Amy Elgersma  
Chief Administrative Officer  
City of Iqaluit  
P.O. Box 460  
Iqaluit, NU  
X0A 0H0  
Fax: 979-5653

Reference:

ii) If to the Consultant at:

<Insert Consultant Representative Name>  
<Insert Consultant/ Company Name>  
<Insert Address>

- 3.2 Every such notice and communication, if delivered by hand, shall be deemed to have been received on the date of delivery or if sent by prepaid registered mail shall be deemed to have been received on the seventh day after posting, or if by facsimile, 48 hours after the time of transmission, excluding from the calculation weekends and statutory holidays.

4. COMPLETE AGREEMENT

- 4.1 This Contract and its attachments constitute the complete Contract between the parties. Except as provided herein, it supersedes and shall take effect in substitution for all previous agreements. It is subject to change only by an instrument executed in writing by the City.
- 4.2 If this Contract arises from a request for proposals or tender call, the provisions of the request for proposals or tender call and the Consultant's bid or proposal submission are incorporated into this Contract and may be used to clarify, explain or supplement this Contract, but shall not be used to contradict any express terms of this Contract.
- 4.3 In the event of a conflict between this Contract, the Consultant's bid or proposal submission, and the City's original tender bid instructions or Request for Proposals, the more recently prepared document shall govern to the extent of such inconsistency.

5. GENERAL TERMS

- 5.1 Any information obtained from or concerning any department of the CITY OF IQALUIT or clients of any department of the CITY OF IQALUIT, by the contractor, its agents or employees in the performance of any contract shall be confidential. The Consultant shall take such steps as are necessary to ensure that any such information is not disclosed to any other person and shall maintain confidential and secure all material and information that is the property of the CITY OF IQALUIT and in the possession of or under the control of the Consultant. This clause survives the termination of this contract.



- 5.2 Time shall in every respect be of the essence. The Consultant shall deliver the services specified in the contract and according to the project schedule on costs. The CITY OF IQALUIT may grant reasonable extensions to the Consultant for delays, if the Consultant can show those delays were caused by circumstances beyond the control of the Consultant.
- 5.3 The Consultant is an independent Consultant with the CITY OF IQALUIT and nothing in this contract shall be construed or deemed to create the relationship of employee and employer or of principal and agent between the CITY OF IQALUIT and the Consultant. The Consultant is solely responsible for payments of all statutory deductions or contributions including but not limited to pension plans, unemployment insurance, income tax, workers' compensation and the Nunavut Payroll Tax.
- 5.4 This contract shall be interpreted and governed in accordance with the laws of Nunavut and the laws of Canada as they apply in Nunavut.
- 5.5 No waiver by either party of any breach of any term, condition or covenant of this contract shall be effective unless the waiver is in writing and signed by both parties. A waiver, with respect to a specific breach, shall not affect any rights of the parties relating to other or future breaches.
- 5.6 The failure of either party at any time to require the performance of any provision or requirement of this contract shall not affect the right of that party to require the subsequent performance of that provision or requirement.
- 5.7 Title to any report, drawing, photograph, plan, specification, model, prototype, pattern, sample, design, logo, technical information, invention, method or process and all other property, work or materials which are produced by the Consultant in performing the contract or conceived, developed or first actually reduced to practice in performing the contract (herein called "the Property") shall vest in the CITY OF IQALUIT and the Consultant hereby absolutely assigns to the CITY OF IQALUIT the copyright in the property for the whole of the term of the copyright. The Consultant shall not be responsible for any loss or damage suffered by the City of Iqaluit or any third parties resulting from any unauthorized use or modification of the property, errors in transmission of the property, changes to the Property by others, the consequences of design defects due to the design of others, or defects in contract documents prepared by others, and the City of Iqaluit agrees to defend, indemnify, and hold the Consultant harmless from and against all claims, demands, losses, damages, liability and costs associated therewith. Subject to the foregoing, the Property may be relied by the City of Iqaluit for design and construction work undertaken by other parties with respect to the Services provided that such parties verify the accuracy and completeness of the Property to their satisfaction.
- 5.8 It is intended that all provisions of this agreement shall be fully binding and effective between the parties, but in the event that any particular provision or provisions or a part of one is found to be void, voidable or unenforceable for any reason whatever, then the remainder of the agreement shall be interpreted as if such provision, provisions, or part thereof, had not been included.
- 5.9 This contract may be extended by the written consent of the parties.
- 5.10 The CITY OF IQALUIT may delegate any of its authority and undertaking pursuant to this contract to any employee or contractor the CITY OF IQALUIT by notice in writing to the Consultant.
- 5.11 This contract shall ensure to the benefit of and be binding on the respective administrators, successors and assignment of each of the parties hereto.

## 6. CONSULTANT RESPONSIBILITIES

- 6.1 The Consultant shall indemnify and hold harmless, the CITY OF IQALUIT, its officers, employees, servants and agents from and against all claims, actions, causes of action, demands, losses, costs, damages, expenses, suits or other proceedings by whomsoever made, brought or prosecuted in any manner based upon or related to the negligent acts, errors, or omissions of the Consultant under this contract.
- 6.2 The Consultant shall be liable to the CITY OF IQALUIT for any loss or damage to property or equipment that is supplied to or placed in the care, custody or control of the Consultant for use in connection with the contract if such loss or damage is attributable to the negligence or deliberate acts of the Consultant or its employees or agents.
- 6.3 If, in the opinion of the CITY OF IQALUIT acting reasonably, the Consultant is in default in respect of any obligation of the Consultant hereunder, the CITY OF IQALUIT may rectify such default and pursue a claim against the Consultant for any direct costs associated with any such remediation, including a reasonable allowance for the use of the CITY OF IQALUIT's own employees or equipment.
- 6.4 The Consultant may not assign or delegate work to be done under this contract, or any part thereof, to any other party without the written consent of the CITY OF IQALUIT. In the case of a proposed assignment of monies owing to the Contractor under this contract, the consent in writing of the CITY OF IQALUIT must be obtained.
- 6.5 The Consultant shall keep proper accounts and records of the services for a period of 3 years after the expiry or termination of this agreement. At any time during the term of this contract or during the three years following the completion or termination of this agreement, the Consultant shall produce copies of such accounts and records upon the written request of the CITY OF IQALUIT.
- 6.6 The Consultant shall notify the CITY OF IQALUIT immediately of any claim, action, or other proceeding made, brought, prosecuted or threatened in writing to be brought or prosecuted that is based upon, occasioned by or in any way attributable to the performance or non-performance of the services under this contract.
- 6.7 If at any time the Consultant considers their estimates indicate costs will exceed the project budget, they will immediately advise the City of Iqaluit. If in the opinion of the City of Iqaluit, acting reasonably, the excess is due to design, costs factors or matters under the control or reasonably foreseeable by the Consultant, the CITY OF IQALUIT may require the Consultant to do everything by way of revision of the design to bring the cost estimate within the project budget. Costs of completing such revisions shall be based upon a level of compensation reasonably appropriate to the circumstances, including the reason for the revisions.
- 6.8 Except as required in the performance of services set out in this agreement, the Consultant must maintain as confidential all data and information made available to the Consultant, the CITY OF IQALUIT, or any other parties which is generated by or results from the Consultant's performance of the Services described in this Contract. All such data and information is the property of the City of Iqaluit. This clause shall survive the termination of the Contract.

## 7. TERMINATION

- 7.1 The CITY OF IQALUIT may terminate this contract at any time upon giving written notice to this effect to the Consultant if, in the opinion of the CITY OF IQALUIT, the Consultant is unable to deliver the service as required, the Consultant's performance of work is persistently faulty, in the event that the Consultant becomes insolvent or commits an act of bankruptcy, in the event that any actual or potential labor dispute delays or threatens to delay timely performance of the contract or the (Consultant Contractor) defaults or fails to observe the terms and conditions of the contract in any material respect.
- 7.2 This contract shall terminate as of the day for termination set out in the written notice and the Consultant shall forthwith invoice the CITY OF IQALUIT for work performed to the date of termination.
- 7.3 Any invoice submitted by the Consultant pursuant to clause 7.2 shall be reviewed by the CITY OF IQALUIT to assess the amount which is properly due and owing for work done by the Contractor prior to termination.

## 8. FINANCIAL

- 8.1 The CITY OF IQALUIT, having given written notice of a breach, may withhold or hold back in whole or in part any payment due the Consultant without penalty, expense or liability, if in the opinion of the Contracting Authority, the Consultant has failed to comply with or has in any way breached an obligation of the consultant. Any such hold back shall continue until the breach has been rectified to the satisfaction of the CITY OF IQALUIT.
- 8.2 The CITY OF IQALUIT may set off any payment due the Consultant against any monies owed by the Consultant to the CITY OF IQALUIT.
- 8.3 The City of Iqaluit will pay the Goods and Services Tax (GST).
- 8.4 Provided all terms and conditions on the part of the Consultant have been complied with, each invoice will be paid thirty (30) calendar days after receipt of the invoice, or thirty (30) calendar days after delivery of the services, whichever is later. Invoices from Nunavut Consultants (as defined by the CITY OF IQALUIT NNI Policy) will be paid twenty (20) calendar days after receipt of the invoice, or twenty (20) calendar days after receipt of the services, whichever is later.
- 8.5 The CITY OF IQALUIT may, in order to discharge lawful obligations or to satisfy lawful claims against the Consultant or a Subconsultant arising out of the execution of work, pay any amount, which is due and payable to the Consultant under the contract, if any, directly to the obligee of and the claimants against the Consultant or Subconsultant.

## 9. INSURANCE AND LIABILITY

- 9.1 The Consultant's liability to the City of Iqaluit for claims arising out of this Agreement, or in any way relating to the Services, will be limited to direct damages and to the re-performance, without additional compensation, of any Services not meeting a normal professional standard of care and such liability will, in the aggregate, not exceed the amount of \$1,000,000.00. The limitations of liability will apply, to the extent permitted by law, whether Consultant's liability arises under breach of contract or warranty; tort, including negligence; strict liability; statutory liability; or any other

cause of action, and will extend to and include Consultant's directors, officers, employees, insurers, agents and sub-consultants.

- 9.2 In no event will either party be liable to the other party for indirect or consequential damages including without limitation loss of use or production, loss of profits or business interruption.
- 9.3 The Consultant shall, without limiting his obligations or liabilities hereto, obtain, maintain and pay for during the period of this agreement, the following insurance with limits not less than those shown:
- a) Workers' Compensation insurance covering all employees engaged in the work in accordance with the statutory requirements of the Territory or Province having jurisdiction over such employees. If the Consultant is assessed any additional levy, extra assessment or super-assessment by a Workers' Compensation Board as a result of an accident causing injury or death to an employee of the Consultant or any sub-consultant, or due to unsafe working conditions, then such levy or assessment shall be paid by the Consultant at its sole cost and is not reimbursed by the CITY OF IQALUIT.
  - b) Employer's liability insurance with limits not less than \$500,000 for each accidental injury to or death of the Consultant's employees engaged in the work. If Workers' Compensation insurance exists, then in such event, the aforementioned Employer's Liability insurance shall not be required but the Comprehensive General Liability policy referred to in item (d) herein shall contain an endorsement providing for Contingent Employers' Liability insurance.
  - c) Motor Vehicle, water craft and snow craft standard liability insurance covering all vehicles and/or craft owned or non-owned, operated and/or licensed by the Consultant and used by the Consultant in the performance of this agreement in an amount not less than one million dollars (\$1,000,000.00) per occurrence for bodily injury, death and damage to property; and with respect to busses limits of not less than one million dollars (\$1,000,000.00) for vehicle hazards and not less than one million dollars (\$1,000,000.00) for Bodily Injury to or death of one or more passengers and loss of or damage to the passengers property in one accident.)
  - d) Comprehensive General Liability Insurance with limits of not less than two million dollars (\$2,000,000.00) (inclusive) per occurrence for bodily injury, death and damage to property including loss of use thereof. Such insurance shall include but not be limited to the following terms and conditions:
    - Products & Completed Operations Liability \*
    - Consultant's Protective Liability
    - Blanket Contractual Liability
    - Broad Form Property Damage
    - Personal Injury Liability
    - Cross Liability
    - Medical Payments
    - Non-owned Automobile Liability \*
    - Contingent Employers Liability \*
    - Employees as Additional Insureds \*

*\*WHERE APPLICABLE*



REQUEST FOR PROPOSAL  
**2022 Drainage Improvements**  
2022-RFP-029



- e) Professional Liability Insurance with limits of not less than two hundred fifty thousand dollars (\$250,000.00) per claim and five hundred thousand dollars (\$500,000.00) in the annual aggregate, to cover claims arising out of the rendering of or failure to render any professional service under this contract or agreement.

All policies shall provide that thirty days written notice be given to the CITY OF IQALUIT prior to any cancellations of any such policies.

The Comprehensive General Liability Insurance policies shall name the CITY OF IQALUIT and any permitted sub-consultants as additional insureds only with respect to the terms of this contract and shall extend to cover the employees of the insureds hereunder.

The Consultant shall be responsible for any deductibles, exclusions and/or insufficiency of coverage relating to such policies.

The Consultant shall deposit with the CITY OF IQALUIT prior to commencing with the work a certificate of insurance evidencing the insurance(s) required by this clause in a form satisfactory to the CITY OF IQALUIT and with insurance companies satisfactory to the CITY OF IQALUIT.

IN WITNESS WHEREOF the parties hereto have set their hand and seals as of the date and year entered below.

FOR THE CITY OF IQALUIT:

FOR THE CONSULTANT:

\_\_\_\_\_  
Name/Title

\_\_\_\_\_  
Name/Title

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date

\_\_\_\_\_  
Date

\_\_\_\_\_  
Witness

\_\_\_\_\_  
Witness

**END OF APPENDIX E**



REQUEST FOR PROPOSAL  
**2022 Drainage Improvements**  
2022-RFP-029



**APPENDIX F – SIGNING SHEET**

I/We, agree that we have received addenda \_\_\_\_ to \_\_\_\_ inclusive, and the Proposal Pricing includes provisions set out in such addenda.

I/We confirm agreement to conform to the confidentiality requirements as indicated in Supplementary Conditions SC1 – Confidentiality.

I/We confirm agreement to conform to the conflict-of-interest requirements and disclosures as indicated in Supplementary Conditions SC2 – Conflict of Interest.

Signer must have authority to bind the company.

Signed, and delivered at this \_\_\_\_\_ day of \_\_\_\_\_ 2022.

---

Signature of Name (Authorized official or principal who has authority to bind the company)

---

Legal Company Name

---

Address: # Street, Municipality, Province/ Territory, Postal Code

---

Name: Print or Type

---

Title

---

Email

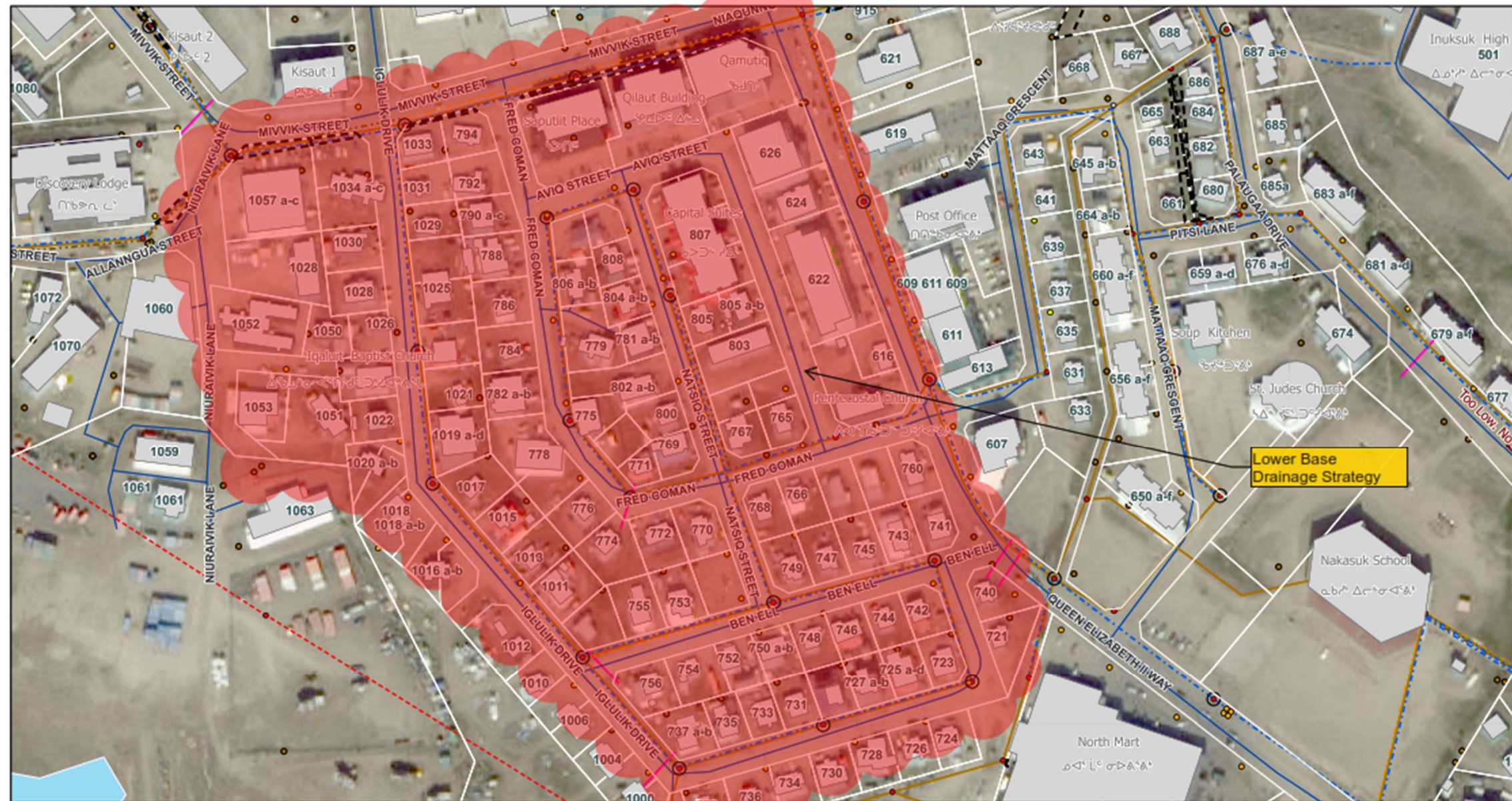
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Telephone #

**END OF APPENDIX F**



# APPENDIX G – LOCATION OF DRAINAGE IMPROVEMENTS PHASE 1 STUDY - LOWER BASE DRAINAGE IMPROVEMENT STRATEGY



4/4/2022, 12:16:42 PM

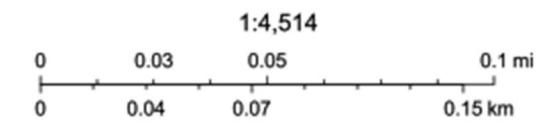
Iqaluit\_Satellite\_2020\_UTM219.jpg

- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3
- Labels - BuildingNames
- Building\_Footprints

- Easements 2021
- Municipal Boundary
- Parcels 2021 - White
- Hydro Poles
- Street Lighting
- Light Pole

- Street Light
- Manhole AVs
- Existing
- Proposed
- Hydrants
- Watermain
- Existing
- Abandoned
- Sanitary Sewer
- Existing
- Recirculation Line
- Existing
- Abandoned
- Forcemain

- District Heating System
- Interior Piping - Phase 2
- Master Drainage Plan Culverts/Ditches
- Culvert
- Proposed Ditch
- Major Shoreline



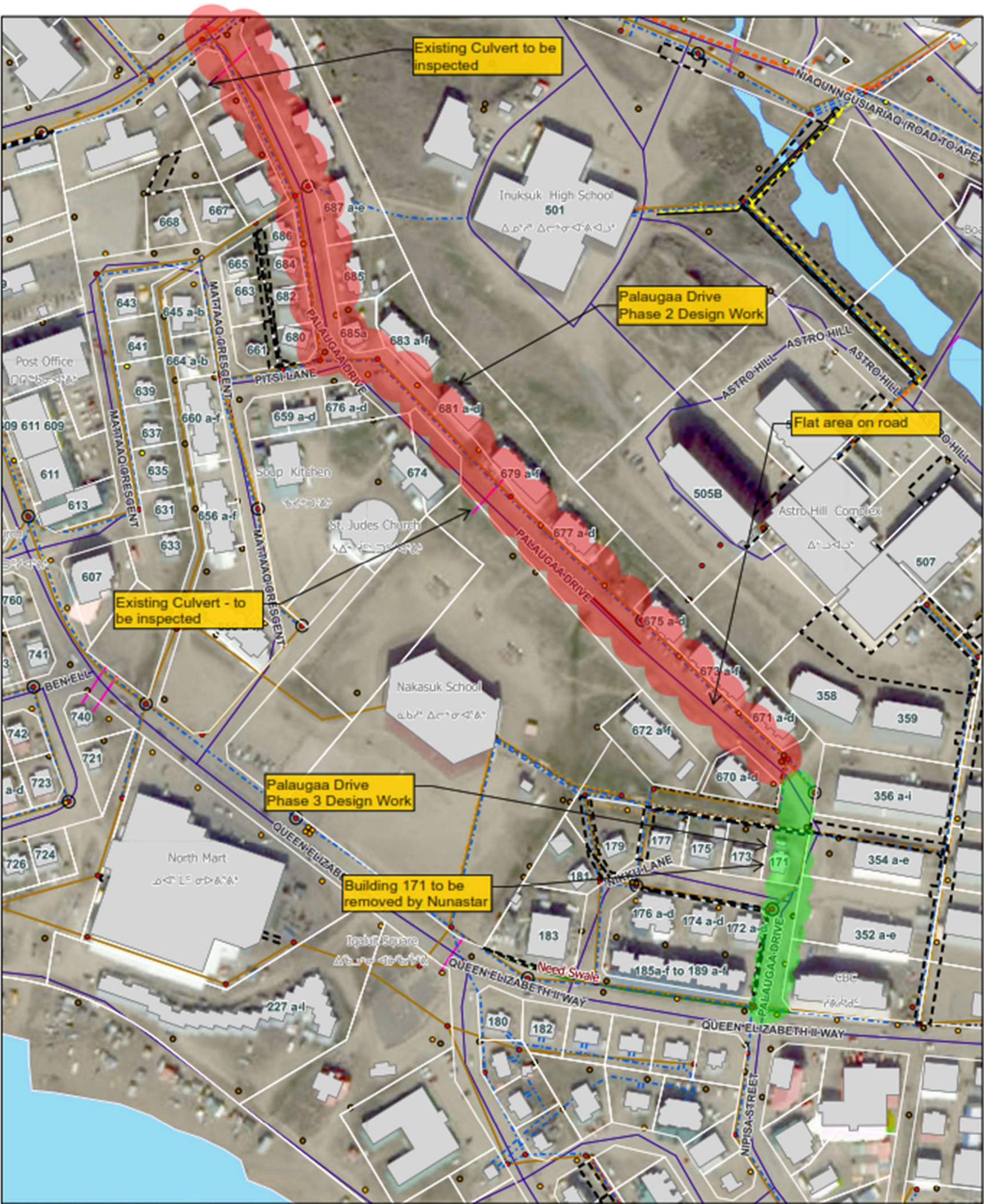
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AmGIS Web AppBuilder



PHASE 2 DETAIL DESIGN - PALAUGAA DRIVE (Apex Road to House 670)

PHASE 3 DETAIL DESIGN - PALAUGAA DRIVE (House 670 to QEW)

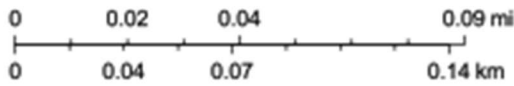


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Iqaluit\_Satellite\_2020\_UTMZ19.jpg

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- Labels - BuildingNames
- Building\_Footprints
- Easements 2021
- Municipal Boundary
- Parcels 2021 - White
- Hydro Poles
- Street Lighting
- Light Pole
- Street Light
- Manhole AVs
- Existing
- Proposed
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- Watermain
- Existing
- Abandoned
- Sanitary Sewer
- Existing
- Recirculation Line
- Existing
- Abandoned

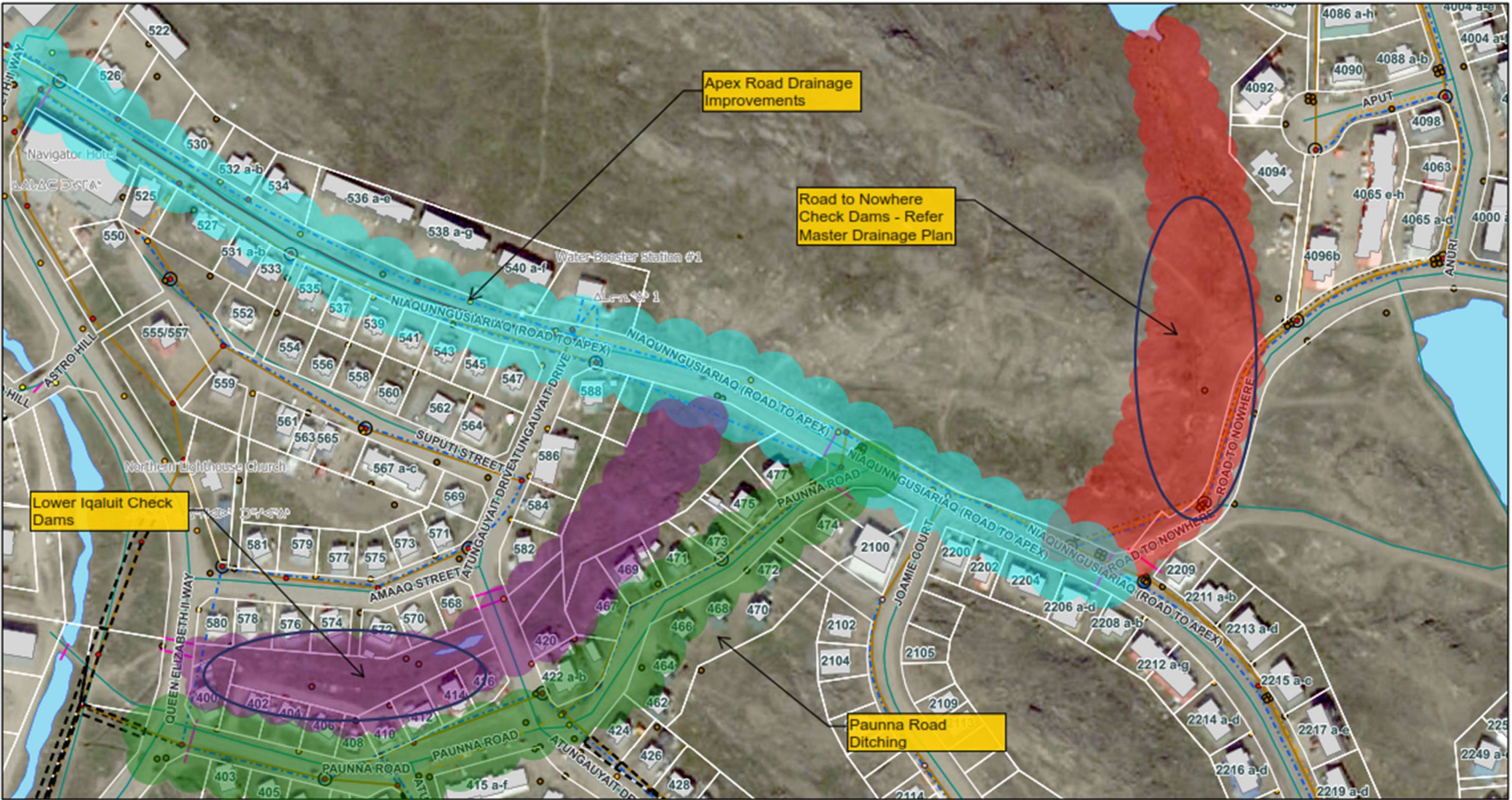
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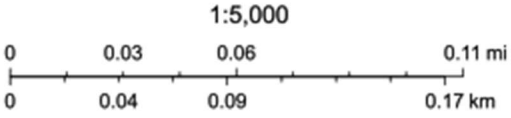
APEX ROAD (Between Hospital & Paunna Street) / PAUNNA STREET (Between Apex Road & QEWS)  
ROAD TO NOWHERE CHECK DAMS & LOWER IQALUIT CHECK DAMS  
ALL PHASE 2 DETAIL DESIGN



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Iqaluit\_Satellite\_2020\_UTM19.jpg

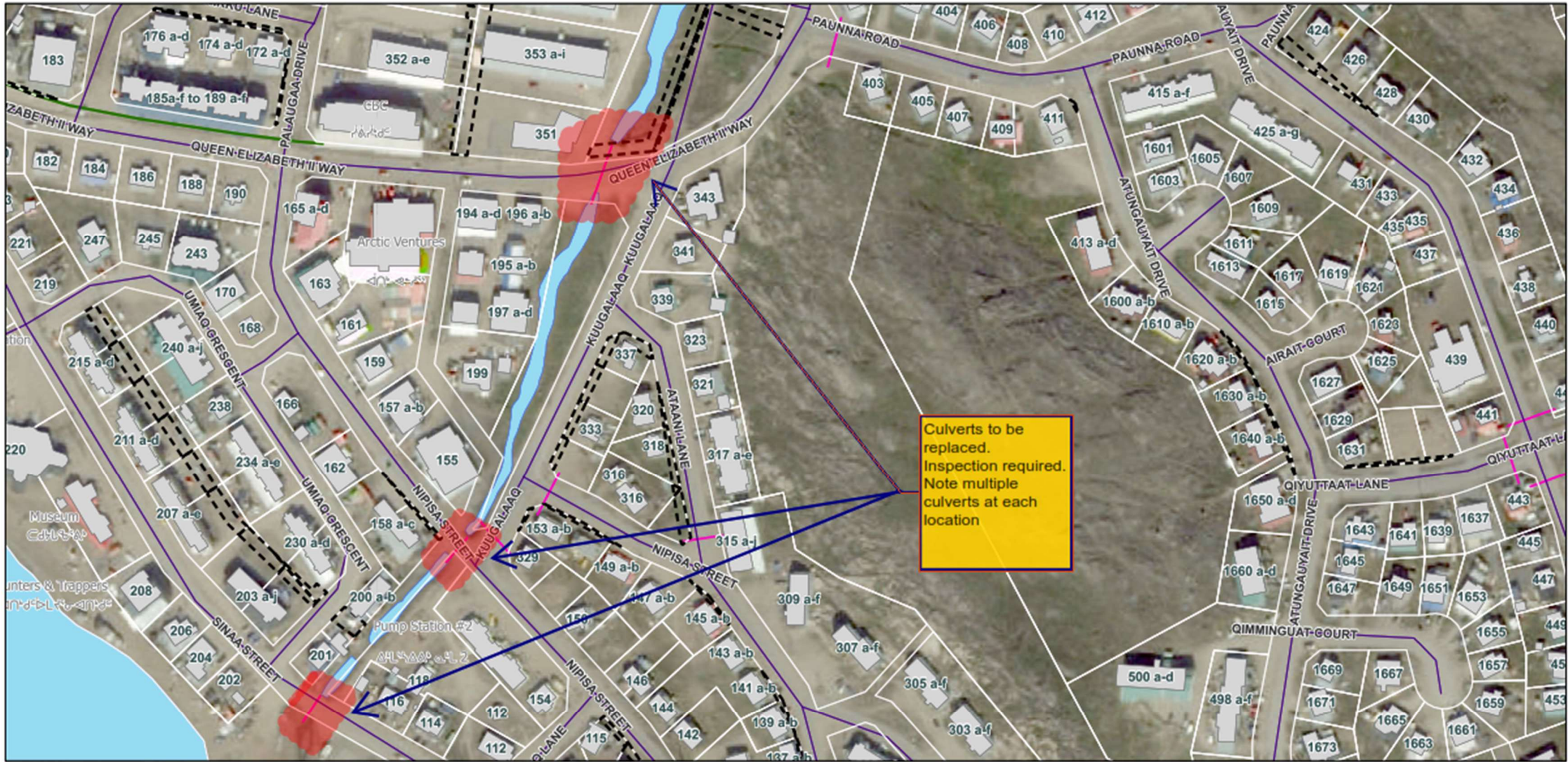
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|---|---|---|--|--|



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**PHASE 2 DETAIL DESIGN - CULVERT REPLACEMENTS**



4/1/2022, 4:40:02 PM

Iqaluit\_Satellite\_2020\_UTM219.jpg

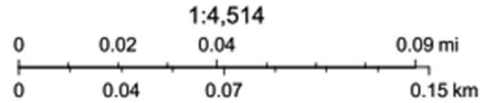
- Red: Band\_1
- Green: Band\_2
- Blue: Band\_3

Labels - BuildingNames

- Building\_Footprints
- Easements 2021
- Municipal Boundary
- Parcels 2021 - White

Master Drainage Plan Culverts/Ditches

- Culvert
- Proposed Swale
- Major Shoreline



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**END OF APPENDIX G**

**END OF RFP**